

# ADDENDUM No. 2 Request for Competitive Sealed Proposals (CSP) 19RFP060 Renovations at Reilly Elementary School

November 15, 2018

**Item 1:Sign In Sheets** 

**Item 2: Missing Documents** 

**Item 3: MEP Sheets** 

#### Item 1:

The Sign In Sheets from the Presubmission Conference are attached

#### Item 2:

Drawings were missing from the Planroom at Miller IDS. They are as listed below and attached to this Addendum.

- 1831.00 Cover
- 1831.00 Index
- A1.00 Site Plan
- A1.01 DEMO FLOOR PLAN
- A1.02 ENLARGED DEMO PLAN
- A1.03 FLOOR PLAN
- A1.04 ENLARGED FLOOR

#### Item 3:

MEP Sheets in response to the City of Austin Building Department Plan Review Comments are listed as below and attached. They can also be found on the Planroom at Miller IDS

- M2.01
- M2.02
- M5.01
- MEP.02
- MEP.03





Mana (Drint)	Dhawa	<b>*</b>
Name (Print) CHRIS REAVES	Phone:	Fax:
	512 9168-4044	
Company Name:	Email Address:	Proposing as: Prime Contractor
DKL CONSTRUCTION GROVE	CREAVES@DKCCGROW.com	□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
1205 SHILDON CV, STE IF	ANSTIN, TX 7875)	□ HUB □ MBE □ WBE □ Non-Minority Firm
Name <sub>i</sub> (Print)	Phone:	Fax:
Mile Constant	Email Address: Michael, Copolar PArchivisd.org	
Company Name:	Email Address:	Proposing as:   Prime Contractor
AISO CMD	Michael Cordent PArchivisal.org	□ Subcontractor
Mailing Address:	City, State, Zip:	
		□ HUB □ MBE □ WBE □ Non-Minority Firm
Name (Print)	Phone: 75 75 75 75 75 75 75 75 75 75 75 75 75	Fax:
STEVE JONES	Phone: 512 384 0063	A solution
Company Namo:	Email Address:	Proposing as:   Prime Contractor
TECTA BHEETCA (ROFTING)	Strone Setectacimerica. Con	Subcontractor
Mailing Address:	City State 7in:	MACCOURTS SECONDARIAN USEANISTICAL COURT TOWARD COLUMN
2319 PATTERSON TWO DRIVE	PFGGOVIUE, Tx, 7860	□ HUB □ MBE □ WBE □ Non-Minority Firm
30.   \	11 44-25-214	
Name (Print)	Phone:	Fax:
MULLINED JAYNES	817 307-1355	
Company Name:	Email Address:	Proposing as: Prime Contractor
The second secon	risynes QVIKarchitects.com	Subcontractor
MALLANDERS	FIRMERIOVICATION CELES COM	D Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
Namo (Brint)	Phone	Fave
Name (Print) erald Green	Phone: 512.414-3632	Fax:
Company Marie.	Email Address:	Proposing as:   Prime Contractor
ALSD HUB		□ Subcontractor
Mailing Address:	City, State, Zip:	And the second s
	City, State, Zip: Lestin 1	HUB





Name (Print) Isidom Solozav	Phone: 5/2-2/3-0744	Fax:
Company Name: General Contractors	Email Address: 1's i dorn Covila controctors - con	Proposing as: Prime Contractor  □ Subcontractor
Mailing Address: Krons Long, Str 970	City, State, Zip:	MBE - WBE - Non-Minority Firm
Name (Print) SABRINA LOZANO	Phone: 6000 5000 512 9302607	Fax:
Company Name:	Email Address:	Proposing as: Prime Contractor
FTWOODS CONSTRUCTION	Slozano Oftwoods.com	□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE 🗽Non-Minority Firm
2500 NE INNER LOUP, BLD.2	GEORGETOWN, TX 78652	HOB BINDE & WEL ANOTHWITIOITE FILM
		990
Name (Print) OHN ROBERTS	Phone:	Fax:
Company Name:	Email Address:	Proposing as:   Prime Contractor
(DA CONSTRUCTION	JOHNRE GACSI. COM	□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
Name (Print) SHAY TRAWEEK	Phone:	Fax:
Company Name:	Email Address:	Proposing as:
QA CONSTRUCTION	SHAY QACSI COM	□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
Name (Print) Scott Henneckar	Phone: 512-906-9061	Fax:
Company Name: Sabre Commercial	Email Address: Sherrne ckarla Sabre commerci	Proposing as: Prime Contractor  Subcontractor
Mailing Address: 2001 Chican St.	City, State, Zip: Austrin TX 78722	□ HUB □ MBE □ WBE □ Non-Minority Firm





None (Dist)		
Name (Print) Michael Bowser	Phone: 5/2 - 79/- 2887	Fax:
Company Names /	Email Address:	Proposing as: Prime Contractor
Novium Group	Tyler wa novium group. Net	□ Subcontractor
Mailing Address:	City, State, Zip: A LCI 10 70-711	HUB   MBE   WBE   Non-Minority Firm
	City, State, Zip: AUTIO, TX 78748	HUB D MBE D WBE D Non-Minority Firm
Name (Print)	Phone:	Fax:
DAVID HILSS	512-731-4686	100000000
Company Name:	Email Address:	Proposing as:   Prime Contractor
GOTO AUTOMATION	DAVID@ GOTO ANTOMATION. CON	
	Droibe goto ACTOMATION. COM	Subcontractor CONTROLS
Mailing Address:	City, State, Zip: HVT70 TX 7863 4	□ HUB □ MBE □ WBE □ Non-Minority Firm
409 W. FRINT ST DIE 100-252	NO 10 TX 18634	a not a more a more a mon-minority firm
Name (Print)	Phone:	Fax:
Name (Print) Jeshias Haugh	254-829-3200	· ·
Company Name:	Email Address:	Proposing as: Prime Contractor
HCS ine	hidealas - as Com	And PARK The Mark Street Stree
11 - Jule	bids whes -ge. Com	□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
365 Wayside DR	City, State, Zip: WACO TX 76705	a was a was a was a war will only him
Name (Print) /	Phone:	Fax:
Warme (Print) Findrew Holloway		
Company Name: Air Craft  Mailing Address:	Email Address:	Proposing as:   Prime Contractor
Hir Coast		75 10750 U.S. 10750 U.
Addition Addition		Subcontractor
Mailing Address: 1916 Picadilly dr	City, State, Zip: Round Rock TX 78664	□ HUB □ MBE □ WBE □ Non-Minority Firm
17/16 ricadilly dr	1 10000 KOCK 1X /8664	
Name (Print)	Phone	Fow: // /
Name (Print) KEN 1520	Phone: 512 - 575 - 6254	_Eax: 91/bert 6 e stR Constructors. com
Communication / /		7.7.20 13 00 1.00 1.00 1.00 1.00 1.00 1.00 1.
Lomnany Name: / /		Bronosing act Drimo Contractor
Company Name:	Email Address:	Proposing as:   Prime Contractor
STR Constructors	Email Address: atilon Mb & St. Constructors. Con	Proposing as:   Prime Contractor  Subcontractor
STR Constructors Mailing Address:	Email Address: atilon Mb & St. Constructors. Con	□ Subcontractor
STR Constructors	Email Address:	Proposing as:   Prime Contractor





Name (Print) A Manager Tredency	Phone:	Fax:
Company Name:	Email Address:	Proposing as:   Prime Contractor
AISD	And the second of the second o	□ Subcontractor
	City Ct-ty 71-	5 Japontiaco
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
		*
Name (Print)	Phone:	Fax:
126 11-1	(-7//)	
1382 CLEASES	Front Address	Daine Contractor
Company Name:	Email Address:	Proposing as:   Prime Contractor
AISD SAKETY dept	safetades + 2=13-6 mark rans	□ Subcontractor
Mailing Address:	Email Address:  SAFe for the form of 2 = 13 - 6 mail and city, State, Zip!	□ HUB □ MBE □ WBE □ Non-Minority Firm
		E 1100 E 1410E E 440E E 1401F-MINIOTEY TITLE
Name (Print)	Phone:	Fax:
Mike Ceker	(512) 385-6660	(512) 385-6064
Company Namos	Email Address: /	Proposing as: Prime Contractor
Tegrity Contractors	MK4 @ tegrityo Contractors. Co	□ Subcontractor
Marilla Aldrew	City, State, Zip:	30300111100001
Mailing Address! 720 Bastrop Huy Suite 204	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
720 Bastrop Huy Suita 204	Austin TX 78642	
Name (Print)	Phone: 210 452 3452	Fax:
DAVID KWAFF	10 45 6 575 6	
Company Name:	Email Address:	Proposing as:   Prime Contractor
ALSD CONST. MOST DEAT	DAVID. KNAPP@AUSTINISD. ORS	□ Subcontractor
Mailing Address:	City, State, Zip:	
Mulling Floor Coo.	Gity, State, Lip.	HUB
		***************************************
Name-(Print)	Phone:	Fax:
KONNE TSCHATSCHULA	512-844-3062	512-590-8739
Company Name:	Email Address:	Proposing as: Prime Contractor
Company Name: 169CE LONSTIN COUNT CO. INC.	(GARCHERY @ AUSTO, RR. LOM	□ Subcontractor
Mailing Address:	City State Zin:	
1801 WHIP O WILL	KOUND ROCK, TR 78681	☐ HUB ☐ MBE ☐ WBE ☐ Non-Minority Firm



#### **SIGN-IN SHEET**

Name (Print)	Phone:	Fax:
* Allegand * Allegand *		
Company Name:	Email Address:	Proposing as:   Prime Contractor
		□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as:   Prime Contractor
		□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as:
		□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as:   Prime Contractor
		□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm
Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as:   Prime Contractor
		□ Subcontractor
Mailing Address:	City, State, Zip:	□ HUB □ MBE □ WBE □ Non-Minority Firm



# RENOVATIONS TO REILLY ELEMENTARY SCHOOL VIKIARCHITECTS

AUSTIN, TEXAS

19-0029-REILLY 2017 BOND PACKAGE





Austin, Texas 78746 Main Phone: 512.807.3145

M.E.P. ENGINEER

SUITE #100 Austin, TX 78757 Main Phone: 512.637.4393

13740 Research Blvd. C2 Austin, Texas 78750

#### RELIANCE ARCHITECTURE 1306 Barrington Dr.

Austin, Texas 78753 Main Phone: 512.758.7660

## **COMBS CONSULTING**

Main Phone: 512.773.6580 www.combs-group.com

AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL

## ISSUE DATE: OCTOBER 25, 2018

VLK Proj. Coord.

SHEET TITLE

SHEET NO.



WW PROJECT NO.

> 1831.00 SHEET TITLE

INDEX TO DRAWINGS DESIGN CRITERIA

# Renovations at Margaret T. Reilly Elementary School

19-0029-REILLY

AUSTIN I.S.D.

AUSTIN, TEXAS

4.0.0				
ABB	REVIATIONS			MATERIAL INDICATIONS
A A.F.F.	ABOVE FINISH FLOOR	M		EARTH CERAMIC TILE
ACOUS.	ACOUSTICAL	IVI MFR.	MANUFACTURER	
AL./ALUM		M.B.	MARKER BOARD	POROUS FILL GLASS (LARGE SCALE)
ADA	AMERICANS WITH DISABILITIES ACT	M.O.	MASONRY OPENING	CONCRETE INSULATION (RIGID)
ARCH.	ARCHITECTURAL	MAS.	MASONRY	BRICK INSULATION (BATT)
ALT.	ALTERNATE BID	MAX.	MAXIMUM	INSULATION (RIGID)
В		MECH.	MECHANICAL	MARBLE WOOD, ROUGH (CONT.)
BM.	BEAM	MET./MTL.	. METAL	METAL (LARGE SCALE) WOOD, ROUGH (BLOCKING)
BLKG.	BLOCKING	MIN.	MINIMUM	
BD.	BOARD	MISC.	MISCELLANEOUS	
ВОТ.	ВОТТОМ	MULL.	MULLION	RESILIENT FLOORING PLYWOOD (LARGE SCALE)
BLDG.	BUILDING	Ν		ACOUSTICAL TILE STUD WALL
С		NOM.	NOMINAL	TERRAZZO METAL LATH
CEM.	CEMENT	N.I.C.	NOT IN CONTRACT	PLASTER, SAND, GROUT GYPSUM BOARD
CTR.	CENTER	N.T.S.	NOT TO SCALE	
Q	CENTER LINE	NO. OR #	NUMBER	
CER.	CERAMIC	0		DUIL DING DEGION ODITEDIA
C.R.	CLASSROOM	OFF.	OFFICE	BUILDING DESIGN CRITERIA
COL.	COLUMN	0.C.	ON CENTER	
CONC.	CONCRETE	0.D.	OUTSIDE DIAMETER	I. PROJECT IDENTIFICATION
CMU	CONCRETE MASONRY UNITS	OPNG.	OPENING	PROJECT NAME - MARGARET T. REILLY ELEMENTARY SCHOOL
CONST.	CONSTRUCTION	0.H.	OPPOSITE HAND	AISD PROJECT 19-0029-REILLY
CONT.	CONTINUOUS	OPP.	OPPOSITE	OWNER - AUSTIN INDEPENDENT SCHOOL DISTRICT
C.J.	CONTROL JOINT	0.H.	OVERHEAD	PROJECT LOCATION - 405 DENSON, AUSTIN, TEXAS 78752 LEGAL DESCRIPTION:ABS 789 SUR 57 WALLACE J P
CORR.	COUNTERCLINIC	P.Q		PARCEL ID: 0228100701
CTSK. CG	COUNTERSUNK CORNER GUARD	PR.	PAIR	H ADDI IOADI E OODEO
UG	CONINEN GUAND	P.T.	PARTITION TYPE	II. APPLICABLE CODES

PLAS. PLASTER

PL. PLATE

RAD.

REINF.

REQ'D.

SCHED.

SECT.

SQ.

STD.

STL.

STOR.

T.W.

TERR.

THK.

T.O.J.

T.O.S.

T.O.W.

VEST.

WSCT.

WT.

W/0

PLYWD. PLYWOOD

P. LAM. PLASTIC LAMINATE

POINT

PROJECTOR

QUARRY TILE

RADIUS

REFERENCE

REINFORCED

ROOF DRAIN or ROUGH DIMENSION

REQUIRED

RISER

R00M

SCHEDULE

SOLID CORE

SQUARE

STANDARD

SUSPENDED

TACKBOARD

TACK WALL

TELEPHONE

TERRAZZO

TOP OF JOIST

TOP OF STEEL

TOP OF WALL

U.N.O. UNLESS NOTED OTHERWISE

VERIFY IN FEILD

VINYL COMPOSITION TILE

VINYL WALL COVERING

TYPICAL

VERTICAL

VESTIBULE

WAINSCOT

WEIGHT

WIDE

WITH

WOOD

WDW. WINDOW

WITHOUT

WATER CLOSET

TOP OF CURB OR TEACHERS CABINET

UNDERWRITERS LABORATORIES

THICK

TREAD

STEEL STORAGE

STRUC. STRUCTURE

SPECIFICATION

STAINLESS STEEL

SECTION

SHEET SIMILAR

///\\ | | | | |

**Independent School District** 

DTL./DET. DETAIL

DWG.

D.O.

DBL.

D.S.

EXT.

FLR.

GYP.

GND.

HORIZ.

I.D.

INSUL.

JAN.

KIT.

LAV.

L.L.V.

L.P.

HR. HOUR

DIAMETER

DRAWING

DOOR OPENING

DOWNSPOU<sup>\*</sup>

ELECTRICAL

ELEVATION

**EXPANSION** 

EXTERIOR

FEET or FOOT

FINISH FLOOR LINE

FIRE EXTINGUISHER

FIRE HOSE CABINET

10/25/2018 GENERAL CONTRACTOR

HANDICAPPED

HIGH POINT

HOLLOW METAL

INSIDE DIAMETER

INSULATION

INTERIOR

JANITOR

JOIST

KITCHEN

LAMINATE

LAVATORY

LONG LEG HORIZONTAI

LONG LEG VERTICAL

LONG

LOW POINT

HORIZONTAL

H.B. / HB HORIZONTAL BLINDS

F.H.C.S. FLAT HEAD COUNTERSUNK

FLOOR

FIRE EXTINGUISHER CABINET

**EXPANSION JOINT** 

ELECTRIC WATER COOLER

ELEVATION OR ELEVATOR

EACH

II. APPLICABLE CUDES 2015 INTERNATIONAL BUILDING CODE w/ LOCAL AMMENDMENTS 2015 INTERNATIONAL ENERGY CODE w/ LOCAL AMMENDMENTS 2015 INTERNATIONAL FIRE CODE w/ LOCAL AMMENDMENTS 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE (PMC) LOCAL AMMEND 2015 UNIFORM MECHANICAL CODE (UMC) w/ LOCAL AMMENDMENTS. UNIFORM PLUMBING CODE (UPC) w/ LOCAL AMMENDMENTS 2017 NATIONAL ELECTRIC CODE w/ LOCAL AMMENDMENTS 2012 TEXAS ACCESSIBILITY STANDARDS NFPA 101 LIFE SAFETY CODE 2018 AISD PROJECT DEVELOPMENT MANUAL AHSRAE 62.1 AHSRAE 90.1

#### **GENERAL NOTES** 1. VERIFY AND DOCUMENT EXISTING DIMENSIONS & CONDITIONS AT THE SITE BEFORE BEGINNING CONSTRUCTION. NOTIFY THE ARCHITECT OF CONFLICTS OR VARIATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. 2. GYPSUM WALLBOARD SHALL BE TYPE "X" FIRECODE. 3. PROVIDE LINTELS AS REQUIRED AND DIRECTED OVER OPENINGS IN WALLS WHERE MECHANICAL EQUIPMENT PENETRATES WALLS. 4. AT DRYWALL WALL CONSTRUCTION WHICH EXTENDS ABOVE CEILING, PROVIDE LIGHT GAUGE FRAMING AND BRACING AT 4'-0" O.C., TYPICAL, TO STRUCTURE ABOVE IN ORDER TO PROVIDE SECURE PERMANENT, AND RIGID ANCHORAGE OF WALLS, TYPICAL. 5. AT CEILING FURRING DETAILS; SUSPENSIONS, BRACING, BLOCKING, ETC., SHOWN IS SCHEMATIC REPRESENTATION ONLY. PROVIDE SECURE PERMANENT ANCHORAGE AT FURRINGS IN ACCORDANCE WITH RECOMMENDED DRYWALL INSTALLATION PRACTICE. 6. BUILD WALLS PLUMB AND TRUE WITH 90 DEGREE CORNERS, UNLESS NOTED OTHERWISE AT MECHANICAL AND BOILER ROOMS, SEAL PARTITIONS TIGHTLY AROUND STRUCTURAL, MECHANICAL, AND ELECTRICAL PENETRATIONS. 8. PROVIDE OPENINGS, LINTELS, CURBS, AND FLASHING, THROUGH FLOORS, WALLS AND ROOF TO ACCOMMODATE MECH. AND ELEC. FACILITIES. 9. SUBMIT PATTERN OF CONTROL JOINTS IN FACE BRICK, CMU, GYPSUM BOARD TO THE ARCHITECT PRIOR TO CONSTRUCTION. 10. FLOOR PLAN DIMENSIONS ARE TO FACE OF CMU OR STUD UNLESS NOTED OTHERWISE. 11. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING TREES AND SHRUBS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS AROUND THOSE IN PROXIMITY TO THE 12. PROVIDE 1" BULLNOSE AT ALL EXPOSED VERTICAL EDGES OF CMU.

18. PROVIDE MINIMUM 2"X6" F.R. WOOD BLOCKING BETWEEN METAL STUDS IN NEW PARTITIONS

AT MOUNTING LOCATIONS FOR ACCESSORIES, HANDRAIL CASEWORK, MARKER BOARDS,

19. AT GYPSUM WALLBOARD AND PLASTER WORK USE CORNER BEADS, CASING BEADS AND

METAL ACCESSORIES AS REQUIRED TO PROVIDE FINISH SURFACE TERMINATIONS.

20. IN CASE OF DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, THE GREATER QUANTITY

21. THE USE OF 3 5/8" CMU FOR INTERIOR PARTITIONS IS NOT PERMITTED EXCEPT FOR USE IN

CHASES. FREESTANDING 3 5/8" CMU PARTITIONS ARE NOT ALLOWED.

FOLDING PARTITIONS, ETC.

OR QUALITY SHALL BE PROVIDED.

13. ALL CMU WALLS SHALL HAVE 8" STARTER COURSES UNLESS NOTED OTHERWISE. 14. SEAL PARTITION TIGHTLY AROUND ALL STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS WITH SAFING. 15. AT ALL INTERIOR AND EXTERIOR MASONRY CORNERS, PROVIDE A 3/8" BUTT CONTROL JOINT. 16. USE BULLNOSE TILE AT OUTSIDE CORNERS AND TOP OF WAINSCOT AT CERAMIC TILE. 17. PROVIDE SEALANT AND FIRESAFING AT ALL FLOOR PENETRATIONS AND EXPANSION JOINTS.

SYMBOL	S / LEGEND		
CLASSROOM A201	ROOM NUMBER MARK	<u>L</u> 3	LOUVER MARK
(A203)	DOOR NUMBER MARK	8	NUMBERED NOTE MARK
A	STOREFRONT MARK	$\bigcap^{N}$	NORTH ARROW
P1	PARTITION TYPE MARK	(HB)	HORIZONTAL BLINDS
DWG. NO.	SECTION MARK	DWG. NO. 3/A8.01 SHEET NO.	ELEVATION MARK
G.O. 2	GLAZED OPENING MARK	DWG. NO: 6/A4.05 SHEET NO.	SECTION DETAIL MARK
•	DATUM ELEVATION MARK	AC	ACCESS CONTROL MARK
TEXAS A	ACCESSIBILITY	STANDARDS	3
PROVISIONS FO	OR ADULTS AND CHILDRI	ADULT EN AGES 13 & 7	S CHILDREN ABOVE AGES 12 & UNDE
REACH RANGES			

	ADULTS	CHILDREN
PROVISIONS FOR ADULTS AND CHILDREN	AGES 13 & ABOVE	AGES 12 & UNDER
REACH RANGES		
FRONTAL OR SIDE APPROACH	48" MAX 15" MIN.	16" MIN 44" MAX.
RAMPS AND STAIRS (HANDRAILS)		
TOP OF HANDRAIL GRIPPING SURFACE	34" - 38"	34" - 38"
DRINKING FOUNTAINS AND WATER COOLERS		
FRONTAL APPROACH		
SPOUT HEIGHT (TO OUTLET)	36" MAX.	USE SIDE APPROACH
KNEE CLEARANCE	27" MIN.	
SIDE APPROACH		
SPOUT HEIGHT (TO OUTLET)	USE FRONT APPROACH	30" MAX.
KNEE CLEARANCE		NOT REQUIRED
WATER CLOSETS		
CENTERLINE TO WALL AT WHEELCHAIR ACCESSIBLE	16" - 18"	12" - 18"
CENTERLINE TO WALL AT AMBULATORY STALL	17" - 19"	17" - 19"
TOP OF SEAT	17" - 19"	11" - 17"
GRAB BARS	33" - 36"	18" - 27"
DISPENSER HEIGHT (MOUNT AT 7"-9" FROM CENTERLINE OF DISPENSER IN FRONT OF W.C.)	15" - 48"	14" - 19"
FLUSH CONTROLS	36" MAX.	36" MAX.
URINALS  DIM OF BACIN	17U MAV	4 CII NAAV *
RIM OF BASIN	17" MAX.	16" MAX.*
FLUSH CONTROLS	48" MAX.	44" MAX.
LAVATORIES AND SINKS		
RIM OR COUNTER SURFACE	34" MAX.	31" MAX.
KNEE CLEARANCE (LAVATORIES)	27" MIN.	24" MIN.
KNEE CLEARANCE (SINKS)	27" MIN.	24" MIN.
TO FAUCETS FROM FRONT EDGE	20" MAX.*	18" MAX.*
MIRRORS		
TO TOP OF REFLECTIVE SURFACE	74" MIN.	74" MIN.
TO BOTTOM OF REFLECTED SURFACE AT SINKS & LAV	S 40" MAX.	35" MAX.*
TO BOTTOM OR REFLECTED SURFACE	35" MAX.	35" MAX.*
CONTROLS AND OPERATING MECHANISM		
HIGHEST OPERABLE PART		
FRONTAL AND SIDE APPROACH	48" MAX.	44" MAX.
TELEPHONES		
HIGHEST OPERABLE PART		
FRONTAL AND SIDE APPROACH	48" MAX.	44" MAX.
FIXED OR BUILT-IN SEATING, TABLES, & WORK STATIONS		
HEIGHT OF TABLES OR COUNTERS	26" - 30"	26" - 30"
KNEE CLEARANCES	24" MIN.	24" MIN.
DRESSING & FITTING ROOMS		
TOP OF BENCH (20"-24"D X 42"L MIN)	17" - 19"	11" - 17" *
BACK SUPPORT 18"H MIN. OR MOUNT TO WALL	-	
FOOD SERVICE LINES		
TOP OF TRAY SLIDE	28" - 34"	32" *
. O. O. HIVE OLIDE	<u> </u>	JL.

\* NOTE: DIMENSION FOR SPECIFIC AGE GROUP IS NOT LISTED IN 2012 TAS

INDEX TO DRAWINGS ARCHITECTURAL INDEX TO DWGS, DESIGN CRITERIA, GENERAL NOTES ARCHITECTURAL SITE PLAN DEMOLITION FLOOR PLAN ENLARGED DEMOLITION FLOOR PLAN ENLARGED FLOOR PLAN AND INTERIOR ELEVATIONS FLOOR PLAN AND ELEVATIONS SECTIONS SECTIONS A2.03 DETAILS SCHEDULES & TYPES BUILDING ENVELOPE ROOF AND WALL DETAILS ROOF AND WALL DETAILS MEP DRAWINGS MEP2.02 MEP DEMO ROOF PLAN MEP2.03 MEP ROOF PLAN MO.00 MECHANICAL SYMBOLS AND ABBREVIATIONS M2.01 DEMO MECHANICAL PLAN NEW WORK MECHANICAL PLAN MECHANICAL SCHEDULES MECHANICAL DETAILS

MECHANICAL CONTROLS DIAGRAMS & SEQUENCES MEP2.02 MEP DEMO ROOF PLAN MEP2.03 MEP ROOF PLAN ELECTRICAL E0.00 ELECTRICAL SYMBOLS AND ABBREVIATIONS REFERENCE LIGHTING PLAN LIGHTING PLANS x00 WING REFERENCE POWER PLAN POWER PLANS X00 WING

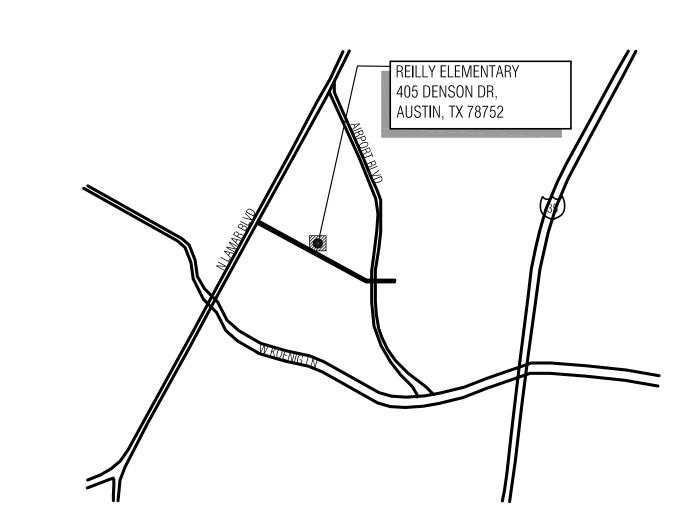
ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES PLUMBING FLOOR PLAN - PLUMBING DEMO FLOOR PLAN - PLUMBING PLUMBING SCHEDULES

TECHNOLOGY T2.00 FLOOR PLAN - TECHNOLOGY T3.01 TYPICAL SECURITY DETAILS

PLUMBING DETAILS

ELECTRICAL ONE-LINE DIAGRAM P0.00 PLUMBING SYMBOLS AND ABBREVIATIONS

SITE LOCATION MAP



www.engexteriors.com ARCHITECT

ARCHITECT

M.E.P. ENGINEER

BUILDING ENVELOPE

ENGINEERED EXTERIORS

VLK Architects, Inc. 2700 Via Fortuna, Suite 230 Austin, Texas 78746

Main Phone: 512.807.3145

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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

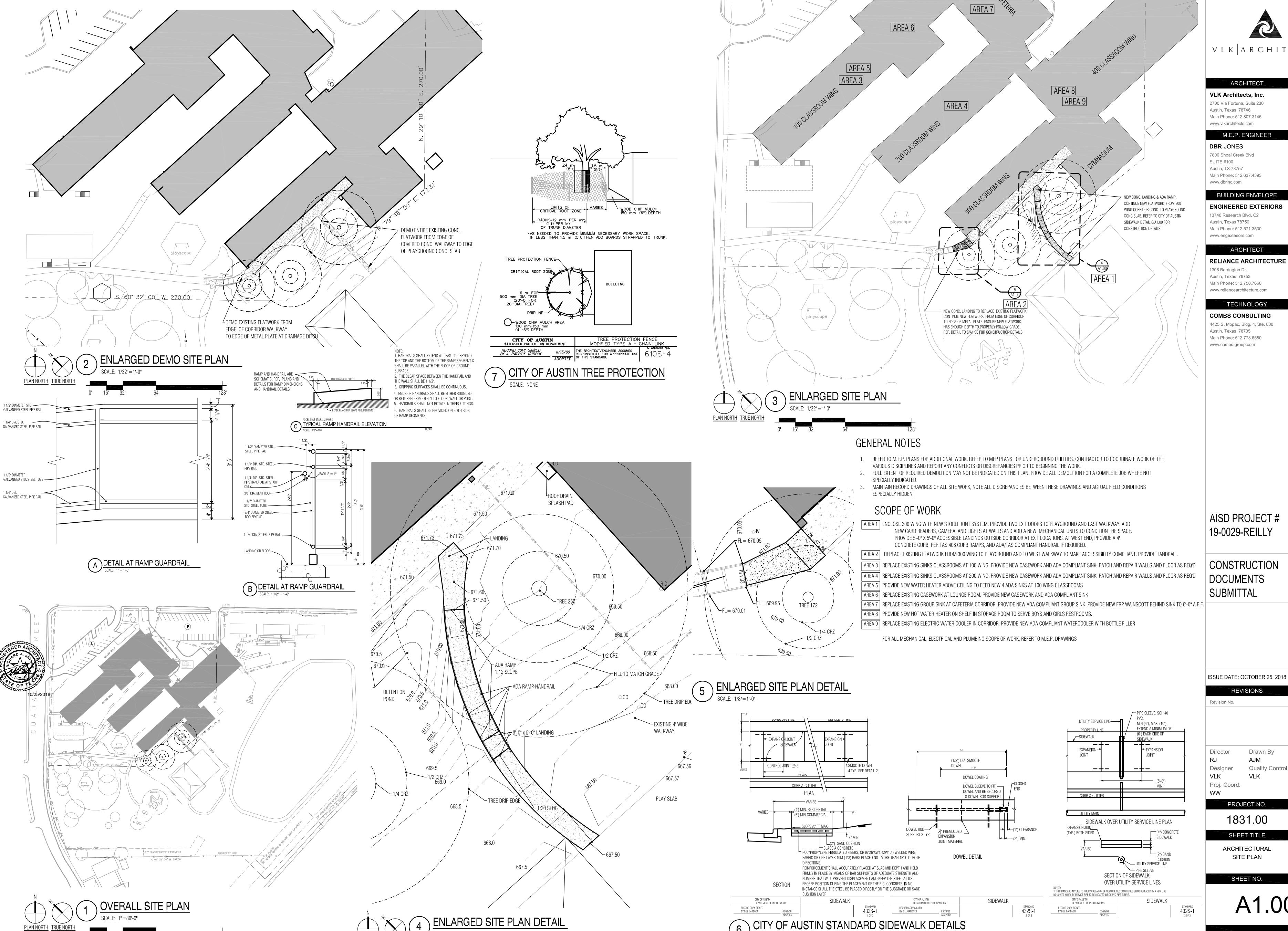
REVISIONS

Revision No.

Director Drawn By RJ WW/ Designer Quality Control VLK VLK Proj. Coord.

GENERAL NOTES

SHEET NO.



PLAN NORTH TRUE NORTH

V L K A R C H I T E C T S

### ARCHITECT

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# M.E.P. ENGINEER

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## RELIANCE ARCHITECTURE

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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS

# REVISIONS

Drawn By AJM**Quality Control** VLK

PROJECT NO.

1831.00

ARCHITECTURAL SITE PLAN

SHEET NO.

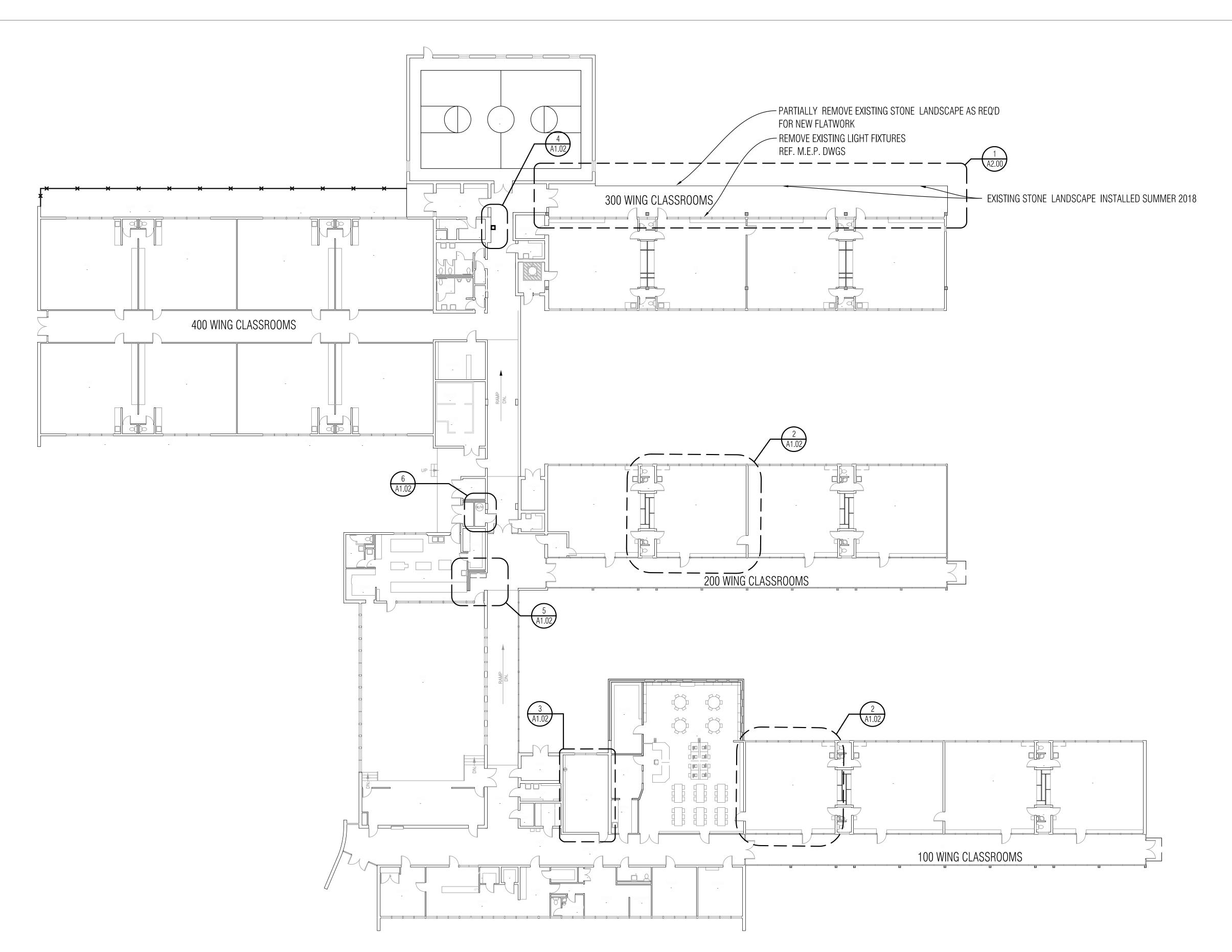
A1.00

Elementary

1831.00

SHEET TITLE

SHEET NO.



DENSON DRIVE

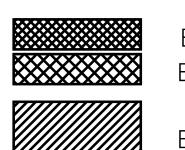




## GENERAL DEMO NOTES

- THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT.
- SUBMISSION OF A PROPOSAL WILL ALSO BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR ACKNOWLEDGES THAT THE PLANS ARE SUFFICIENT TO DO WORK AND THE ABOVE SITE EXAMINATION HAS BEEN MADE, LATER CLAIMS WILI NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORSEEN HAD SUCH AN EXAMINATION BEEN MADE. PROVIDING A BID FOR THE WORK IS ACKNOWLEDGING THAT PLANS ARE SUFFICIENT TO DO WORK.
- REMOVE NOTED PLUMBING FIXTURES, CASEWORK. COORDINATE WITH ENGINEERS DEMOLITION DRAWINGS.
- REMOVE EXISTING FINISHED FLOORING AND ADHESIVE WHERE SPECIFIED SCRAPE AND CLEAN IN ORDER TO PREPARE SLAB FOR SCHEDULED FINISHES AS REQUIRED BY MANUFACTURER FOR PROPER INSTALLATION.
- COORDINATE AND VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. THESE ITEMS MAY INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING:
- CASEWORK
- EXISTING FIXED FURNITURE
- LIGHT FIXTURES
- DOORS AND WINDOWS
- EXISTING FURNITURE
- DATA SYSTEM
- **CLOCK SYSTEM**
- **HVAC UNIT**
- SECURITY SYSTEM
- CAUSE NO DAMAGE TO EXISTING CONSTRUCTION. TAKE CARE NOT TO ENCROACH INTO ADJACENT AREAS NOT WITHIN THE SCOPE OF WORK.
- CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, SIDEWALKS, AND OTHER ADJACENT OCCUPIED SPACES. COMPLY WITH LOCAL JURISDICTION REQUIREMENTS FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
- 8. UPON COMPLETION, CLEAN AREAS TO A UNIFORM CONDITION REMOVING ALL DEBRIS, DUST PARTITIONS AND ASSOCIATED MATERIALS USED DURING THE DEMOLITION. THIS INCLUDES AREAS IMPACTED BY THE DEMOLITION AND THAT OTHERWISE WOULD NOT BE PART OF THE SCOPE OF WORK.
- OWNER HAS PROVIDED HAZARDOUS MATERIALS REPORT PREPARED BY FARMER ENVIRONMENTAL GROUP ON MAY 19, 2016, WHICH DESIGNATES AREAS WHERE ASBESTOS HAS BEEN LOCATED. THE REPORT AND ASBESTOS ABATEMENT SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. CONTRACTOR SHALL REFER TO THE REPORT TO DETERMINE MATERIALS AND AREAS WHERE ASBESTOS IS LOCATED. SHALL CONTRACTOR BECOME AWARE OF ASBESTOS IN THE AREAS OF WORK, IMMEDIATELY CONTACT AISD PROJECT MANAGER AND ARCHITECT.
- REFER TO A1.04 FOR WORK REQUIRED AT EACH LOCATION. REFER TO A1.04 FOR DEMOLITION IN A TYPICAL CLASSROOM.
- REFER TO MEP SHEETS FOR MECHANICAL, PLUMBING AND ELECTRICAL FOR SPECIFIC DEMOLITION NOTES REGARDING THESE DISCIPLINES.
- 13. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS AND DETAILS FOR EXACT LOCATION OF NEW CLASSROOM SINKS.

DEMOLITION LEGEND



EXISTING CASEWORK TO BE REMOVED EXISTING PLUMBING FIXTURE TO BE REMOVED

EXISTING PLUMBING FIXTURE TO REMAIN

DGYMD 400 WING

M.E.P. ENGINEER

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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL

REVISIONS

Director Designer Proj. Coord.

PROJECT NO.

DEMOLITION FLOOR PLAN

A1.01

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SUITE #100

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> AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

Elementary

REVISIONS Revision No.

Drawn By Director WW/

Designer Quality Control Proj. Coord.

PROJECT NO. 1831.00

SHEET TITLE ENLARGED DEMOLITION

FLOOR PLAN

SHEET NO. A1.02

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GENERAL DEMO NOTES

THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT

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REMOVE EXISTING FINISHED FLOORING AND ADHESIVE WHERE SPECIFIED. SCRAPE AND CLEAN IN ORDER TO PREPARE SLAB FOR SCHEDULED FINISHES AS REQUIRED BY MANUFACTURER FOR PROPER INSTALLATION.

COORDINATE AND VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. THESE ITEMS MAY INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING:

CASEWORK

EXISTING FIXED FURNITURE

LIGHT FIXTURES

DOORS AND WINDOWS

EXISTING FURNITURE DATA SYSTEM

**CLOCK SYSTEM** 

**HVAC UNIT** 

SECURITY SYSTEM

CAUSE NO DAMAGE TO EXISTING CONSTRUCTION. TAKE CARE NOT TO ENCROACH INTO ADJACENT AREAS NOT WITHIN THE SCOPE OF WORK.

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REFER TO A1.04 FOR WORK REQUIRED AT EACH LOCATION. REFER TO A1.04 FOR DEMOLITION IN A TYPICAL CLASSROOM.

REFER TO MEP SHEETS FOR MECHANICAL, PLUMBING AND ELECTRICAL FOR SPECIFIC DEMOLITION NOTES REGARDING THESE DISCIPLINES.

13. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS AND DETAILS FOR EXACT LOCATION OF NEW CLASSROOM SINKS.

DGYMD

400 WING

(6) ENLARGED DEMO PLAN EWC @ CORRIDOR

- REMOVE EXISTING WATER HEATER

REF. M.E.P. DWGS

- EXISTING MECH. UNIT TO REMAIN

REMOVE EXISTING CASEWORK

WATER HEATER UNDER SINK

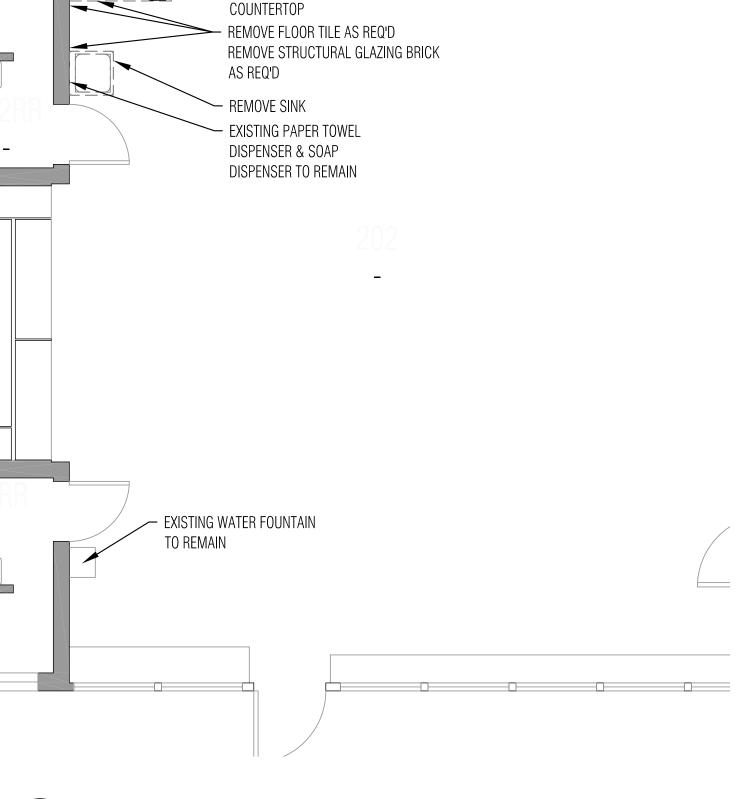
- RELOCATE PAPER TOWEL DISPENSER

3 ENLARGED DEMO PLAN LOUNGE

TO NEW BASE COUNTER

AND SOAP DISPENSER

(BASE AND UPPER). SINK AND COUNTER



--- REMOVE CASEWORK AND

REMOVE CASEWORK AND

REMOVE FLOOR TILE AS REQ'D -

REMOVE STRUCTURAL GLAZING BRICK

COUNTERTOP

AS REQ'D

REMOVE SINK -

EXISTING PAPER TOWEL

DISPENSER TO REMAIN

DISPENSER & SOAP

EXISTING WATER

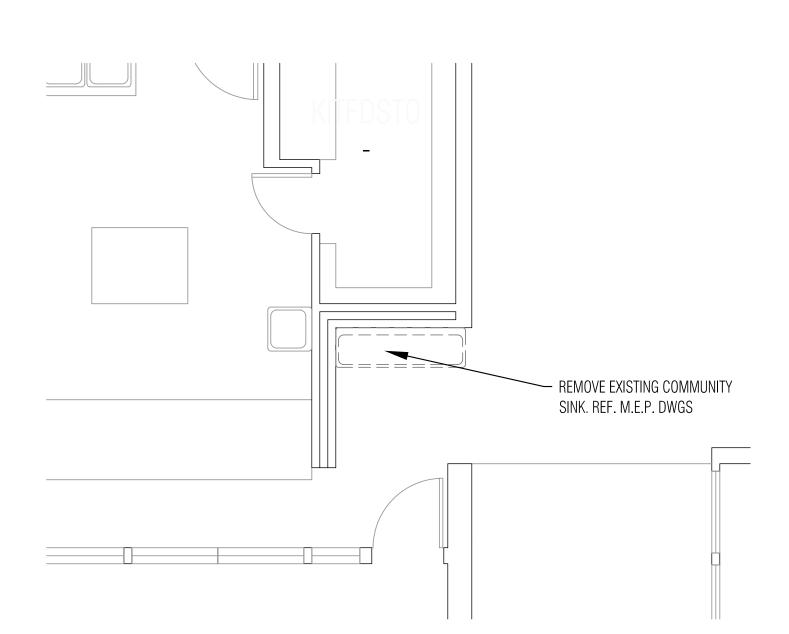
FOUNTAIN TO REMAIN

\ ENLARGED DEMO PLAN 101,103,201,203

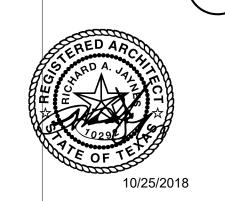
REMOVE EXISTING E.W.C REF. M.E.P. DWGS

4 ENLARGED DEMO PLAN EWC @ CORRIDOR





5 ENLARGED DEMO PLAN EWC @ CORRIDOR SCALE: 1"= 1/4"





OWNER HAS PROVIDED HAZARDOUS MATERIALS REPORT PREPARED BY FARMER

ENVIRONMENTAL GROUP ON MAY 19,2006, WHICH DESIGNATES AREAS WHERE

ASBESTOS HAS BEEN LOCATED. THE REPORT AND ASBESTOS ABATEMENT

CONTRACTOR SHALL REFER TO THE REPORT TO DETERMINE MATERIALS AND

SHALL CONTRACTOR BECOME AWARE OF ASBESTOS IN THE AREAS OF WORK,

REFER TO MEP SHEETS FOR NEW MECHANICAL, PLUMBING AND ELECTRICAL

CONTRACTOR TO COORDINATE WITH MILLWORK DETAILS AND MEP DRAWINGS

400 WING

IMMEDIATELY CONTACT AISD PROJECT MANAGER AND ARCHITECT.

SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL.

AREAS WHERE ASBESTOS IS LOCATED.

REFER TO A1.04 FOR WORK IN CLASSROOMS

FOR LOCATION OF NEW CLASSROOM SINKS.

REFER TO A2.00 FOR WORK IN WING 300 CORRIDOR

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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

REVISIONS

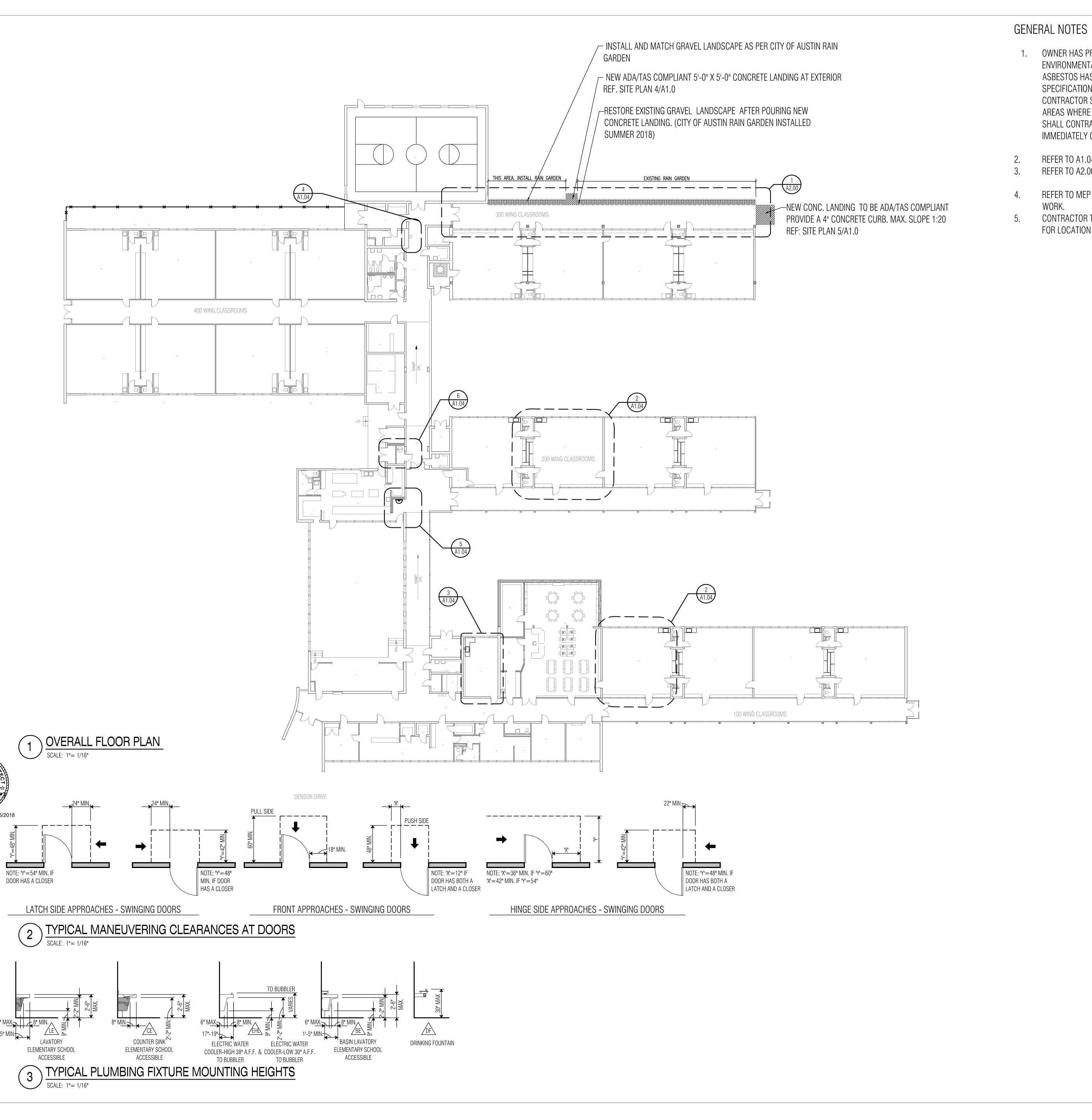
Director Drawn By Designer
VLK
Proj. Coord.
WW Quality Control

PROJECT NO.

1831.00 SHEET TITLE

FLOOR PLAN

SHEET NO. A1.03



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AISD PROJECT# 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

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Drawn By **Quality Contro** VLK

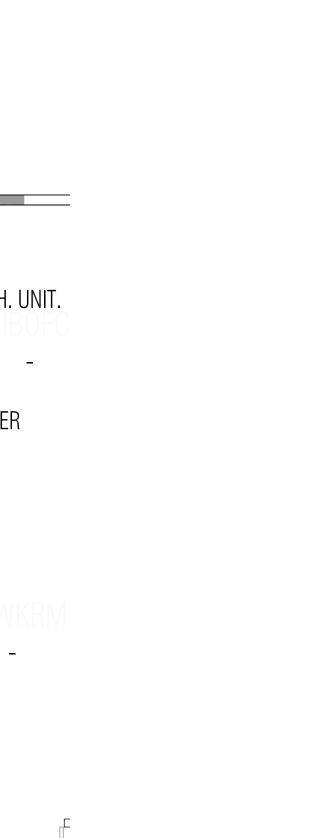
Proj. Coord. PROJECT NO.

> 1831.00 SHEET TITLE

ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS

SHEET NO.

A1.04



GENERAL NOTES

WHERE ASBESTOS IS LOCATED

CLASSROOM SINKS.

OWNER HAS PROVIDED HAZARDOUS MATERIALS REPORT PREPARED BY FARMER

ENVIRONMENTAL GROUP ON MAY 19,2006, WHICH DESIGNATES AREAS WHERE

CONTRACTOR SHALL REFER TO THE REPORT TO DETERMINE MATERIALS AND AREAS

ASBESTOS HAS BEEN LOCATED. THE REPORT AND ASBESTOS ABATEMENT

SHALL CONTRACTOR BECOME AWARE OF ASBESTOS IN THE AREAS OF WORK,

4. REFER TO M.E.P. SHEETS FOR NEW MECHANICAL, PLUMBING AND ELECTRICAL

5. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS AND DETAILS OF NEW

FLOOR PENETRATION

WALL PENETRATION

EXISTING WALL PATCHING

400 WING

EXIST. PIPE PENETRATION PATCHING

NEW STRUCTURAL GLAZED TILE BRICK SHALL BE

KEYED INTO WALL. MATCH GROUT TO EXISTING.

-NEW V.C.T. TO

MATCH EXISTING

AS NECESSARY

-NON-SHRINK GROUT TO FILL

— NEW MORTAR TO MATCH EXISTING — NEW BRICK TO MATCH EXISTING

-EXISTING BRICK

EXISTING WALL

MATCH EXISTING

**EXTERIOR** 

RE: MEP

NEW THROUGH WALL PIPE PENETRATION

~JOINT SEALANT

∽MINERAL WOOL FILL

**EXISTING** 

-NEW BRICK TO MATCH

HOLE IN CONCRETE SLAB

SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL

2. REFER TO A1.04 FOR WORK IN CLASSROOMS

NON-SHRINK GROUT TO FILL

FILL TO CREATE A SMOOTH

FINISH EVEN TO FACE OF CMU

NEW CMU-

HOLE IN CMU.

3. REFER TO A2.01 FOR WORK IN WING 300 CORRIDOR

IMMEDIATELY NOTIFY AISD PROJECT MANAGER AND ARCHITECT.

- NEW CABINET AND COUNTERTOP · INSTALL NEW GLAZED BRICK COVE BASE EXIST. MECH. UNIT. INSTALL NEW V.C.T. AROUND CABINET AS REQUIRED. COLOR AS APPROVED BY → PROVIDE CLOSURE BETWEEN COUNTERTOP AND EXIST. MECH. UNIT. - NEW MILLWORK AND ADA SINK ~ WATER HEATER UNDER NEW BASE COUNTER 11/A1.04

\ ENLARGED PLAN 101,103,201,203

INSTALL NEW GLAZED BRICK COVE BASE

AS REQUIRED

INSTALL NEW V.C.T. AROUND CABINET

COLOR AS APPROVED BY ARCHITECT

2 ENLARGED PLAN 102, 104, 202, 204

- EXISTING DRINKING

COUNTERTOF

BACKSPLASH

AT WALL ONLY

AS REQUIRED

**ARCHITECT** 

AND WINDOW SILL

➤ PATCH EXISTING FLOOR

➤ EXISTING PAPER TOWEL

DISPENSER & SOAP

PENETRATIONS. RE 12/A1.04

- NEW SINK

DISPENSER

CAULK GAP BETWEEN COUNTERTOP

┌ COUNTERTOP

BACKSPLASH

OT WALL ONLY

NEW CABINET AND

CAULK GAP BETWEEN

PATCH EXIST. FLOOR

SOAP DISPENSER

AS REQUIRED.

EXISTING DRINKING

FOUNTAIN -

REPAIR AND INSTALL

STRUCTURAL GLAZED BRICK—

NEW SINK -

AS NECESSARY

COUNTERTOP AND WINDOW SILL

PENETRATIONS. RE: 12/A.1.04

EXISTING PAPER TOWEL DISPENSER &

~ NEW E.W.C. WITH BOTTLE FILLER

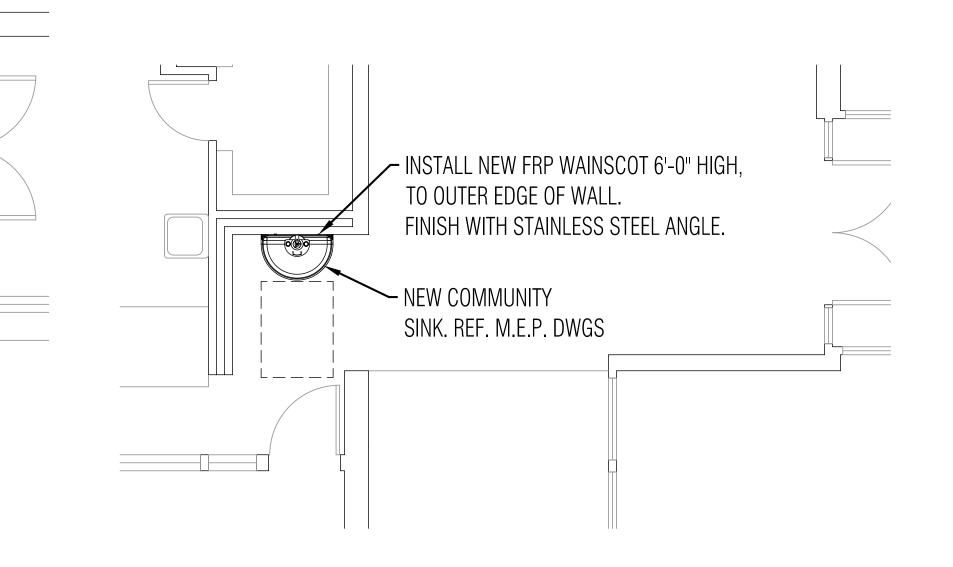
REF. M.E.P. DWGS.

– INSTALL NEW FRP WAINSCOT 6' A.F.F.

AS SPEC'D.

YENLARGED PLAN EWC @ CORRIDOR

3 ENLARGED PLAN LOUNGE



NEW WATER HEATER

5 ENLARGED PLAN COMMUNITY SINK @ CAFETERIA SCALE: 1"= 1/4" 6 ENLARGED PLAN WATER HEATER CLOSET

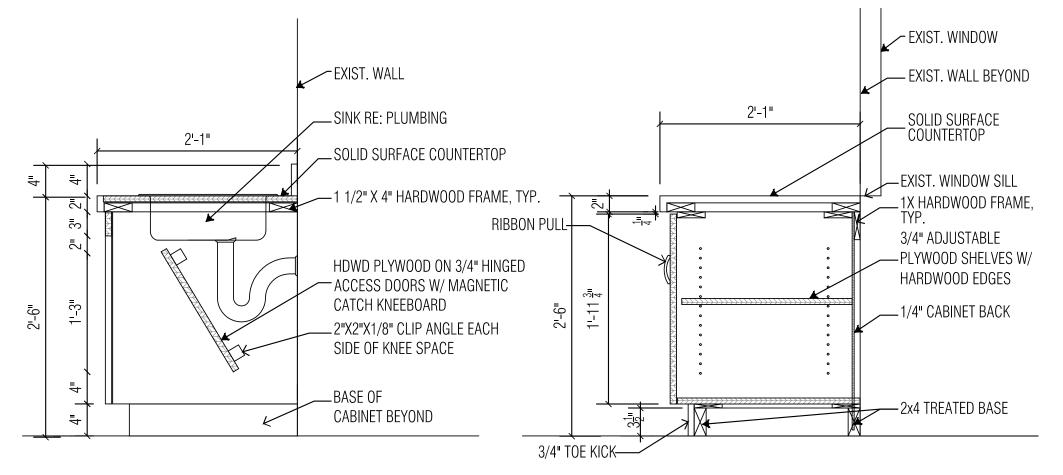
GENERAL CASEWORK NOTES:

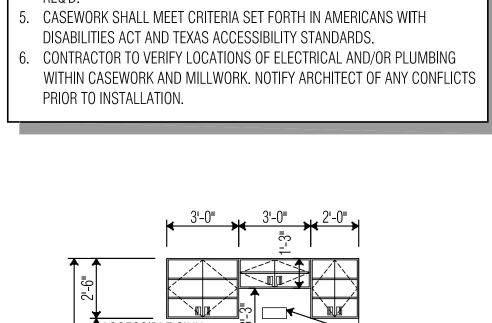
. ALL CASEWORK 2'-6" OR GREATER SHALL HAVE A SHELF THICKNESS NO

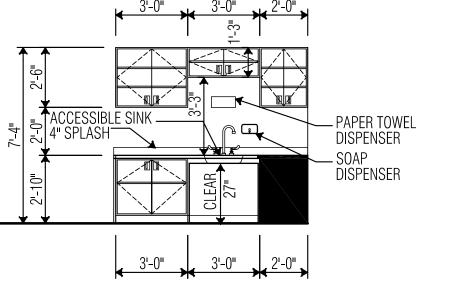
VERIFY ALL COLUMN LOCATIONS PRIOR TO INSTALLATION OF CASEWORK

PROVIDE FINISHED SURFACE ON ALL EXPOSED SURFACES.

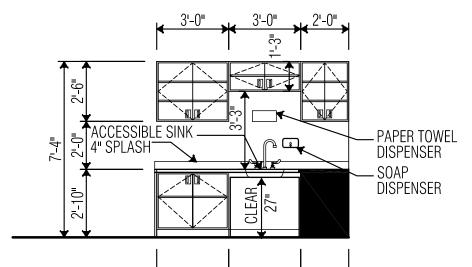








(10) CABINETRY ELEVATION



(11) CABINETRY ELEVATION



NEW CABINET
BACKSPLASH W/OUT

| 1'-4" | 2'-0" | NEW ACCESSIBLE
| SINK | 5'-2" | SINK |

\_EXIST. STOREFRONT





# V L K A R C H I T E C T S

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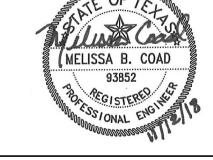
**ENGINEERED EXTERIORS** 

RELIANCE ARCHITECTURE

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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

Revision No.

Drawn By Director

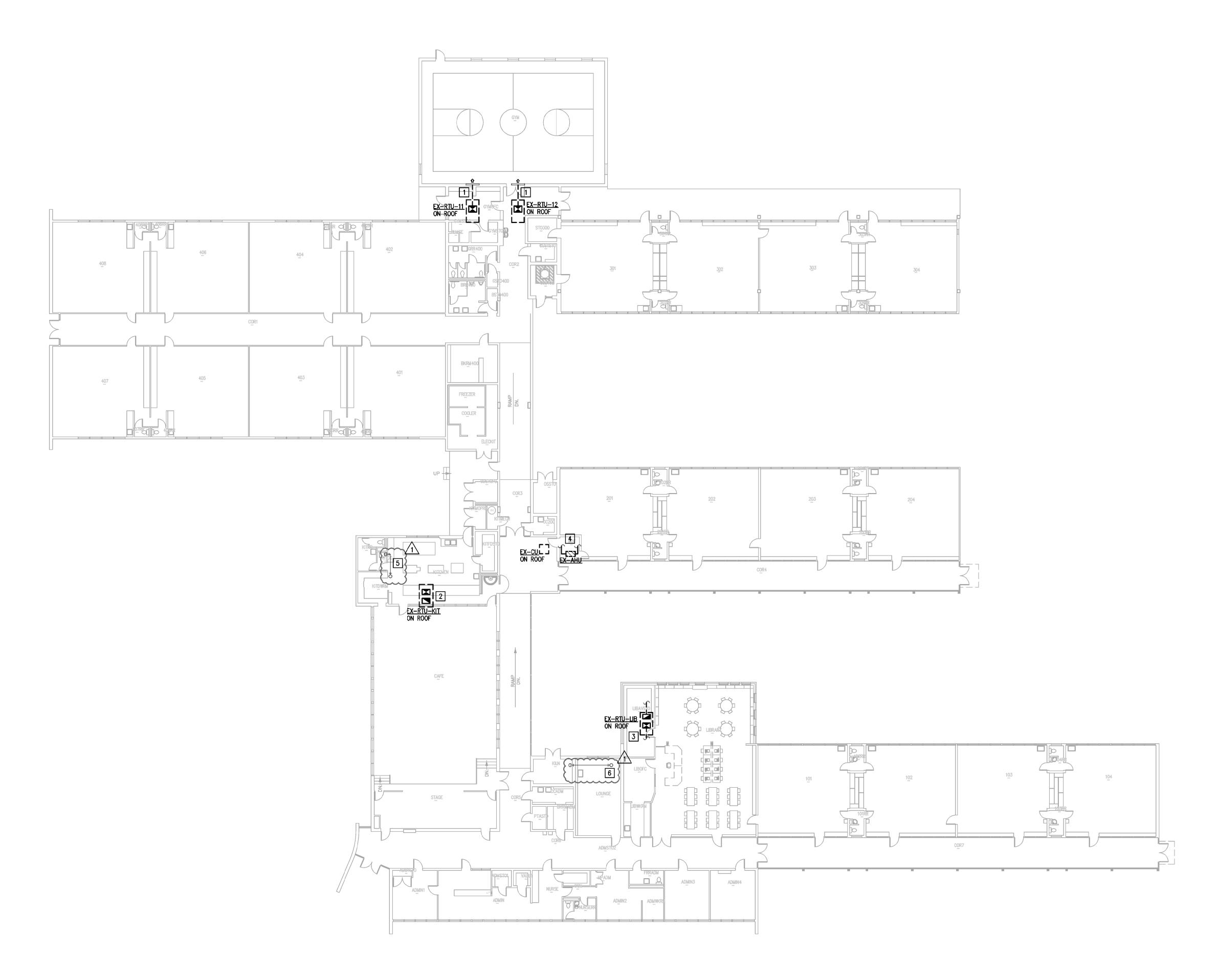
Quality Control Designer

Proj. Coord. WW

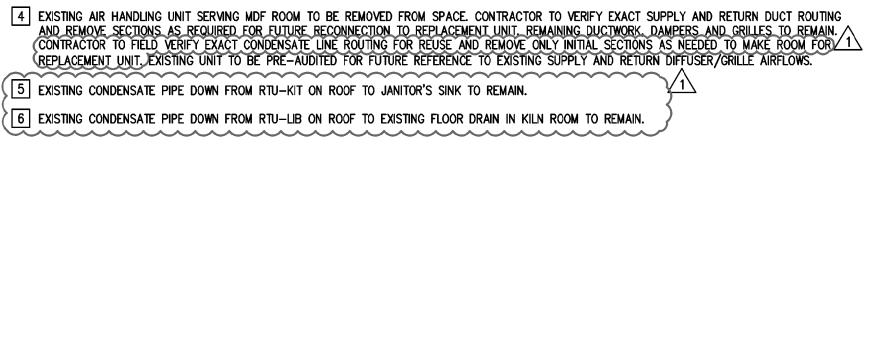
1831.00

DEMO MECHANICAL PLAN

M2.01







MECHANICAL GENERAL NOTES:

ACCESS, SCHEDULING, AND/OR SECURITY.

AS NECESSARY, THE OWNER.

LEAKAGE RATE = 5%.

RETURN DIFFUSER/GRILLE AIRFLOWS.

CONSTRUCTION COMPLETTION.

STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.

WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.

MECHANICAL KEYED NOTES:

REFERENCE TO EXISTING SUPPLY AND RETURN DIFFUSER/GRILLE AIRFLOWS.

A. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT

C. WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL

SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE.

E. PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND

F. CONTRACTOR SHALL COORDINATE REMOVAL AND OFF-SITE DISPOSAL OF EXISTING MATERIALS AND ROUTING OF ANY NEW PIPING, CONDUIT, DUCTWORK AT THE JOB SITE TO AVOID DAMAGE OR CONFLICT WITH EXISTING SYSTEMS AND STRUCTURE. OBTAIN APPROVAL OF OWNER'S

PROJECT, WHO WILL CONTACT THE AISD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO ANY QUANTITY OF R22 REFRIGERANT.

SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL

OWNER (AISD) REQUIRES THAT R22 REFRIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE CONTRACTOR.

AISD AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD" OR "BAD" LABEL. THE AISD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN RECLAIM ALL THE REFRIGERANT

CANISTERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE AISD PROJECT MANAGER FOR THIS

FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". AISD WILL BE PROVIDE THE CONTRACTOR WITH THE

H. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND,

CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS,

J. COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND

K. NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH THE SMACNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE

DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT: MAXIMUM AIR

CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON

N. ANY EXISTING CLOCKS IN HALLWAYS SUSPENDED FROM CEILING, TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS

ANY EXISTING EXITS SIGNS IN HALLWAYS WITH CEILINGS SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS

1 EXISTING SUPPLY GRILLES IN GYM TO REMAIN. ASSOCIATED EXISTING SUPPLY DUCTWORK SHALL BE REMOVED UP TO UNIT. CONTRACTOR TO FIELD VERIFY EXACT DUCT ROUTING. EXISTING UNIT TO BE PRE-AUDITED FOR FUTURE REFERENCE TO EXISTING SUPPLY AND RETURN DIFFUSER/GRILLE AIRFLOWS.

2 CONTRACTOR TO VERIFY EXACT LOCATION OF VERTICAL DUCT SERVING KITCHEN SPACE AND REMOVE ALL VERTICAL SUPPLY AND RETURN DUCTWORK ABOVE CEILING HEIGHT UP TO ROOFTOP UNIT. LOWER PORTION OF DUCTWORK IS TO REMAIN AS IS FOR FUTURE RECONNECTION TO NEW DUCTWORK AND REPLACEMENT UNIT. ALL ASSOCIATED GRILLES, DAMPERS AND ACCESSORIES WITHIN SPACE TO REMAIN. EXISTING UNIT TO BE PRE-AUDITED FOR FUTURE

3 EXISTING VERTICAL SUPPLY AND RETURN DUCTWORK TO BE REMOVED UP TO UNIT SERVING LIBRARY. FIELD VERIFY HORIZONTAL DUCTWORK IN LIBRARY CEILING AND REMOVE SECTIONS AS REQUIRED FOR FUTURE RECONNECTION TO REPLACEMENT DUCT. REMAINING HORIZONTAL DUCTWORK AND ALL

ASSOCIATED BRANCH DUCT, GRILLES, AND DAMPERS TO REMAIN. EXISTING UNIT TO BE PRE-AUDITED FOR FUTURE REFERENCE TO EXISTING SUPPLY AND

COMPLETE. CONTRACTOR SHALL VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.

OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.

B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.

CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.

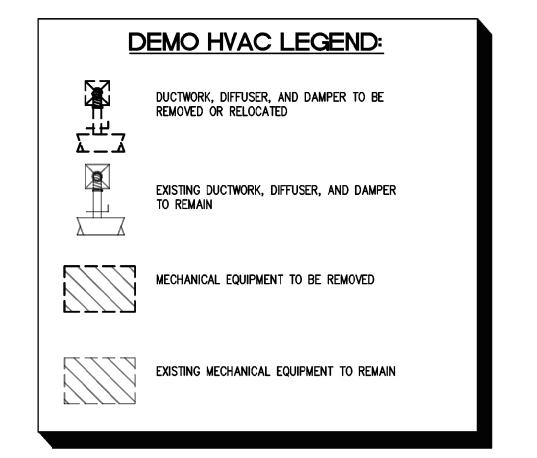
REPRESENTATIVE BEFORE DISPOSING OF ITEMS. ITEMS TO KEEP SHALL BE DELIVERED TO THE OWNER.

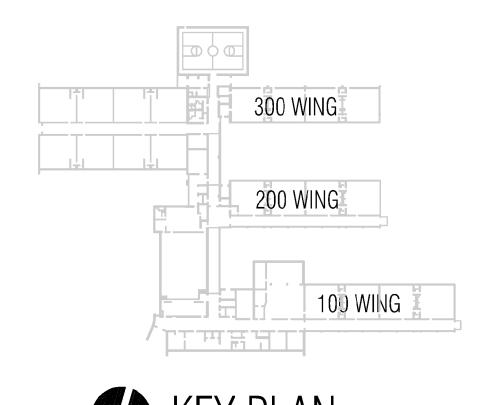
QUANTITIES REQUIRED BY THE SPECIFICATIONS: OWNER'S MANUAL AND PROJECT RECORD DRAWINGS.

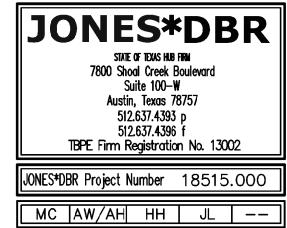
M. SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.

OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, CONDUIT, DUCTWORK, ETC... BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE

FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH







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AISD PROJECT #

CONSTRUCTION **DOCUMENTS** SUBMITTAL

19-0029-REILLY



ISSUE DATE: OCTOBER 25, 2018

Revision No. CITY REVIEW COMMENTS

Drawn By Director Designer Quality Control

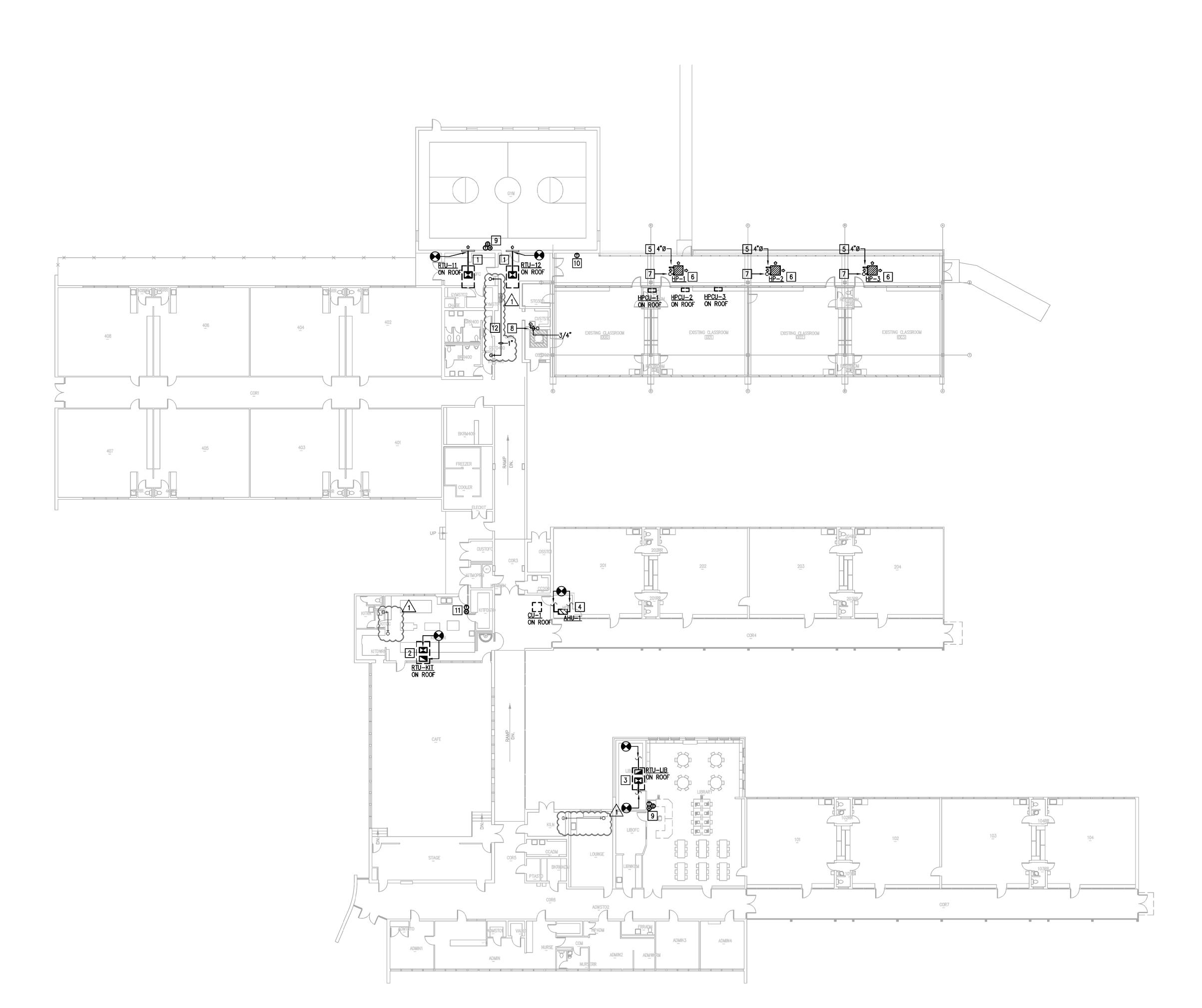
Proj. Coord.

WW

1831.00

NEW MECHANICAL PLAN

M2.02



NEW MECHANICAL PLAN

## MECHANICAL KEYED NOTES:

PROPERLY WHEN INSTALLATION IS COMPLETE.

MECHANICAL GENERAL NOTES:

ACCESS, SCHEDULING, AND/OR SECURITY.

ANY QUANTITY OF R22 REFRIGERANT.

STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.

AS NECESSARY, THE OWNER.

LEAKAGE RATE = 5%.

CONSTRUCTION COMPLETTION.

FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.

B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.

CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.

QUANTITIES REQUIRED BY THE SPECIFICATIONS: OWNER'S MANUAL AND PROJECT RECORD DRAWINGS.

N. SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.

VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.

M. PROVIDE BALANCING DAMPERS AT EACH SUPPLY AND RETURN BRANCH TAKE OFF.

Q. ALL FLEXIBLE DUCTOWORK AND CONNECTORS SHALL NOT EXCEED 5 FEET IN TOTAL LENGTH.

1 PROVIDE SUPPLY DUCT FOR RTU SERVING GYM. DUCT ROUTING AND SIZE SHALL BE EQUAL TO DUCT PRIOR TO REPLACEMENT. PROVIDE FITTINGS AND TRANSITIONS AS REQUIRED TO CONNECT TO EXISTING GRILLES AND TO ASSOCIATED UNIT ON ROOF. ALL DIFFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING UNIT.

THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING CONDUIT, LIGHTS, FIRE SPRINKLER PIPING, CONDENSATE PIPING, EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, FIRE SPRINKLER PIPING, CONDUIT, DUCTWORK, ETC.. BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWNGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK.

WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL

SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL

PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND

CONTRACTOR. AISD AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD"

RECLAIM ALL THE REFRIGERANT FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". AISD WILL BE

PROVIDE THE CONTRACTOR WITH THE CANISTERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE AISD PROJECT MANAGER FOR THIS PROJECT, WHO WILL CONTACT THE AISD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO

H. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND,

CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS,

COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND

NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH THE SMACNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT: MAXIMUM AIR

CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON

O. CLOCKS IN HALLWAYS SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS WORKING

P. EXIT SIGNS IN HALLWAYS WITH CEILING SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL

OR "BAD" LABEL. THE AISD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN

D. SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE.

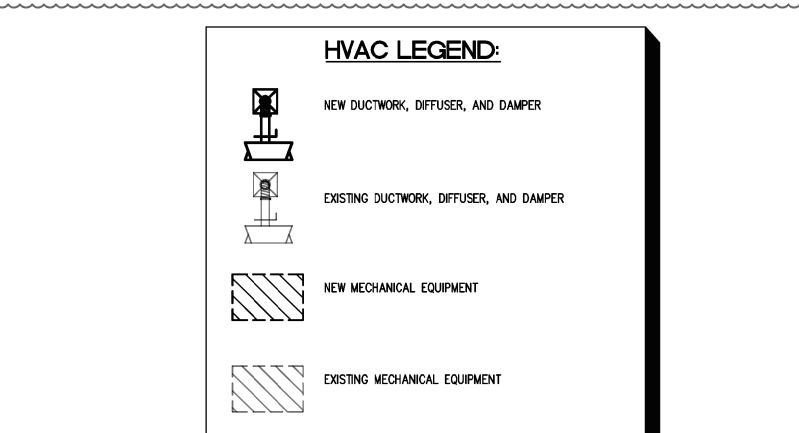
G. OWNER (AISD) REQUIRES THAT R22 RERIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE

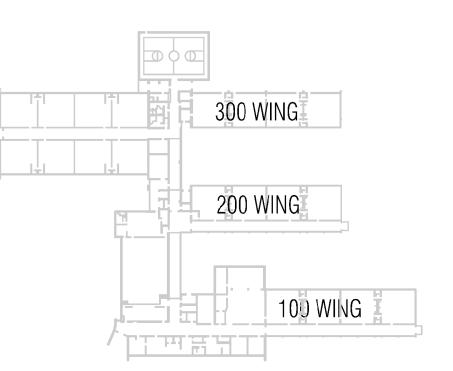
- 2 PROVIDE VERTICAL SUPPLY AND RETURN DUCT SECTION FOR RTU SERVING KITCHEN. ROUTE VERTICAL DUCTS DOWN FOR RECONNECTION TO EXISTING SUPPLY AND RETURN DUCT BELOW CEILING LEVEL IN SPACE. PROVIDE FITTINGS AND TRANSITIONS AS REQUIRED FOR RECONNECTION AND REROUTING. ALL DIFFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING UNIT.
- 3 PROVIDE VERTICAL SUPPLY AND RETURN DUCT SECTION FOR RTU SERVING LIBRARY. ROUTE VERTICAL DUCTWORK DOWN FROM UNIT TO ABOVE CEILING AND RECONNECT TO EXISTING HORIZONTAL DUCTWORK. PROVIDE FITTINGS AND TRANSITIONS AS REQUIRED TO MATCH EXISTING DUCT PRIOR TO REMOVAL ALL DIFFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING
- PROVIDE NEW AIR HANDLING UNIT ABOVE MDF ROOM CEILING. UNIT SHALL BE INSTALLED IN SAME LOCATION AS EXISTING UNIT PRIOR TO REMOVAL. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL RECOMMENDED CLEARANCES. PROVIDE SUPPLY AND RETURN

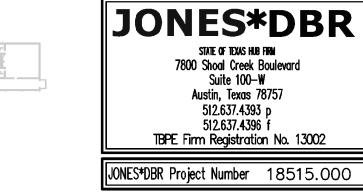
  DUCTWORK SECTIONS AS REQUIRED TO CONNECT TO EXISTING DUCTWORK IN SPACE (PROVIDE NEW CONDENSATE LINE TO CONNECT TO EXISTING PIPING)

  FROM PREVIOUSLY REMOVED UNIT, CONDENSATE PIPING SHALL BE SIZED AND SLOPED TO MATCH PREVIOUSLY REMOVED LINE SERVING UNIT, ALL

  DIFFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING UNIT.
- 5 ROUTE 4"Ø OUTSIDE AIR DUCT FROM CEILING MOUNTED CASSETTE TO ROOF. PROVIDE INTAKE HOOD ON ROOF LEVEL.
- 6 PROVIDE DUCTLESS SPLIT SYSTEM CASSETTE UNIT FOR CORRIDOR ENCLOSURE. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL RECOMMENDED CLEARANCES AND ACCESSORIES FOR MOUNTING UNIT AS HIGH AS POSSIBLE FROM STRUCTURE ABOVE. COORDINATE WITH MANUFACTURER FOR REFRIGERANT PIPE ROUTING PREFERENCES. COORDINATE WITH ELECTRICAL FOR POWER REQUIREMENTS.
- 7 ROUTE 3/4" CONDENSATE PIPE UP TO ROOF LEVEL. COORDINATE ROOF PENETRATION WITH STRUCTURAL COMPONENTS AND OTHER TRADES. REFER TO SHEET MEP2.03 FOR PIPE CONTINUATION. RE: PIPE THROUGH ROOF/WALL DETAIL BY ENGINEERING EXTERIORS ROOFING CONSULTANTS.
- 8 ROUTE 3/4" CONDENSATE PIPE FROM ROOF DOWN TO EXISTING SINK IN STORAGE SPACE. FIELD VERIFY EXACT SINK HEIGHT AND TERMINATE CONDENSATE
- PIPING ABOVE SINK. RE: PIPE THROUGH ROOF/WALL DETAIL BY ENGINEERING EXTERIORS ROOFING CONSULTANTS. 9 VERIFY EXISTING SENSOR LOCATIONS AND PROVIDE REPLACEMENT CO2, HUMIDITY, AND TEMPERATURE COMBINATION SENSOR IN SAME LOCATION. IF NO
- SENSORS ARE PRESENT, PROVIDE SENSORS AS SHOWN ON DRAWINGS. PROVIDE ALL WIRING AS REQUIRED TO RECONNECT SENSORS TO REPLACEMENT UNIT SERVING SPACE WITH SAME FUNCTIONALITY PRIOR TO REPLACEMENT. CO2 SENSORS SHALL CONTROL OUTSIDE AIR DAMPERS IN ASSOCIATED RTU. DAMPER SHALL BE PROPORTIONALLY CONTROLLED BETWEEN MIN. AND MAX. OUTSIDE AIRFLOWS, RE: M5.01 FOR AIRFLOW SETTINGS. MINIMUM OUTSIDE AIRFLOW SHALL CORRESPOND TO 300 PPM CO2 SENSOR READING, WHILE MAXIMUM OUTSIDE AIRFLOW SHALL CORRESPOND TO 1000 PPM CO2 SENSOR READING.
- 10 PROVIDE TEMPERATURE SENSOR FOR CORRIDOR CEILING CASSETTES. PROVIDE ALL WIRING AS REQUIRED TO INTERLOCK ALL UNITS FOR SINGLE POINT READING. COORDINATE FINAL MOUNTING HEIGHT WITH ARCHITECT.
- 11 VERIFY EXISTING SENSOR LOCATIONS AND PROVIDE REPLACEMENT HUMIDITY, AND TEMPERATURE COMBINATION SENSOR IN KITCHEN. IF NO SENSORS ARE PRESENT, PROVIDE SENSORS AS SHOWN ON DRAWINGS.
- 12 1" INSULATED CONDENSATE PIPING DOWN FROM ROOF SERVING RTU-11 AND RTU-12. ROUTE CONDENSATE TO FLOOR DRAIN IN STORAGE ROOM. COORDINATE WITH PLUMBING FOR EXACT DISCHARGE LOCATION WITHIN SPACE.







MC AW/AH HH JL | -- |

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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

Revision No. 1 CITY REVIEW COMMENTS

Director Drawn By RJ Designer **Quality Control** 

Proj. Coord. WW

1831.00

MECHANICAL SCHEDULES

M5.01

DBR Project N	umber	18515.	.000	
AW/AH	НН	JL		

	DX	SPLIT SYSTEM SCHEDU	ILE	
MARK	HP-1	HP-2	HP-3	AHU-1
SPACE SERVED	300 WING	300 WING	300 WING	MDF ROOM
SYSTEM TYPE	HEAT PUMP	HEAT PUMP	HEAT PUMP	COOLING ONLY
SUPPLY AIR (CFM)	665	665	665	1250
OUTSIDE AIR (CFM)	35	35	35	-
EXT. SP. (IN W.G.)	0.1	0.1	0.1	0.5
FAN MOTOR HORSEPOWER	-	-	-	0.5
NOMINAL TONS	2	2	2	3
AHRI COOLING CAPACITY (MBH)	23.8	23.8	23.8	29800
AHRI COOLING CAPACITY (MBH)  SENSIBLE COOLING CAPACITY (MBH)  ELECTRIC HEAT (KW) @ 208/3/60 / STAGES	18.9	18.9	18.9	24898
ELECTRIC HEAT (KW) @ 208/3/60 / STAGES	N/A	N/A	N/A	N/A
EAT DB/WB (°F)	-	-	-	75/63
LAT DB/WB (°F)	=	4	-	53.8/53
HEAT PUMP CAPACITY (MBH) @ 47°F	27	27	27	N/A
VOLTS/PHASE/HERTZ	208 / 1 /60	208 / 1 /60	208 / 1 /60	208 / 1 /60
MCA / MOP	0.5/15	0.5/15	0.5/15	5/15
MANUFACTURER	DAIKIN	DAIKIN	DAIKIN	LENNOX
MODEL	FCQ24PAVJU	FCQ24PAVJU	FCQ24PAVJU	CBX27UH-036
WEIGHT (LBS)	48.5	48.5	48.5	159
NOTES	6,8,10,11	6,8,10,11	6,8,10,11	4,5,6,7,8,9
MARK	HPCU-1	HPCU-2	HPCU-3	CU-1
MIN. SEER (ARI)	18.50	18.50	18.50	15
HEAT PUMP HSPF	10.2	10.2	10.2	N/A
AMBIENT AIR  VOLTS/PHASE/HERTZ	105	105	105	105
VOLTS/PHASE/HERTZ	208 / 1 / 60	208 / 1 / 60	208 / 1 / 60	208 / 1 / 60
MCA MOCP MANUFACTURER	16.5	16.5	16.5	17.1
MOCP	20	20	20	25
MANUFACTURER	DAIKIN	DAIKIN	DAIKIN	LENNOX
MODEL	RZQ24PVJU8	RZQ24PVJU8	RZQ24PVJU8	13ACXN030-230
NOMINAL TONS	2	2	2	2.5
WEIGHT (LBS)	150	150	150	144
NOTES	1,2,3,5	1,2,3,5	1,2,3,5	1,2,3,5

. PROVIDE CONDENSER COIL HAIL GUARDS.

- 2. PROVIDE LOW AMBIENT CONTROL.
- . INSTALL REFRIGERANT PIPING IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE SECONDARY DRAIN PAN WITH FLOAT SWITCH UNDER UNIT TO DISENGAGE THE UNIT.
- 5. PROVIDE UNIT WITH SINGLE POINT POWER CONNECTION.
- 6. HIGH EFFICIENCY UNITS SCHEDULED ECONOMIZERS NOT REQUIRED.
- '. UNIT TO BE CONFIGURED FOR HORIZONTAL DISCHARGE.
- 8. PROVIDE UNIT WITH CONDENSATE PUMP.
- 9. UNIT IS COOLING ONLY.
- 10. INDOOR UNIT SHALL BE POWERED BY OUTDOOR UNIT.
- 11. PROVIDE OUTSIDE AIR INTAKE KIT.

			OUTSI	DE AIR C	ALCULAT	ΓΙΟΝ - ΤΑ	BLE 402	.1 UMC 20	015				
ROOM NUMBER	SPACE DESIGNATION	USAGE TYPE	Az	PEOPLE / 1,000 FT <sup>2</sup>	People	Pz	Rp	Ra	Vbz	Ez	Voz	Vot	EXHAUS (CFM)
HP/HPCU-1,2,3			•	,			•			•	•		
-	CORRIDOR	CORRIDOR	1,398	0	0	0	0	0.06	84	0.8	105	105	_
								PREV	IOUS OUTDO	OOR AIR SUF	PPLIED TO SI	PACE (CFM):	0
												JIRED (CFM):	105
												R AIR (CFM):	105
												R AIR (CFM):	105
DTU 44	T												
RTU-11	GYM	GYMNASIUM	1,190	7	9	30	7.5	0.06	297	0.8	372	272	
<del>-</del>	GTW	GTWINASIOW	1,190	'	9	] 30	7.5	0.00	291	0.0	312	372	-
								PREV	IOUS OUTDO	OOR AIR SUP	PPLIED TO SI	PACE (CFM):	400
												JIRED (CFM):	372
										MAXIMU		R AIR (CFM):	400
										MINIM	JM OUTDOO	R AIR (CFM):	75
RTU-12													
-	GYM	GYMNASIUM	1,190	7	9	30	7.5	0.06	297	0.8	372	372	l <u>-</u>
			<u> </u>										
								PREV	IOUS OUTDO			PACE (CFM):	
												JIRED (CFM):	372
												R AIR (CFM):	400
										IAIIIAIIAI		R AIR (CFM):	75
RTU-LIB													
-	LIBRARY	MEDIA CENTER	1,610	25	41	41	10	0.12	604	0.8	755	755	-
-	LIBRARY OFFICE	OFFICE	140	5	1	1	5	0.06	14	0.8	18	18	-
-	LIBRARY WORKROOM	OFFICE	95	5	1	1	5	0.06	11	0.8	14	14	-
-	LIBRARY STORAGE	STORAGE	233	-	-	0	0	0.12	28	0.8	35	35	-
								PRFV	IOUS OUTDO	OOR AIR SUE	PI IFD TO SI	PACE (CFM):	450
								11124	1000 00 10			JIRED (CFM):	
												R AIR (CFM):	
										MINIM	JM OUTDOO	R AIR (CFM):	240
	T												
RTU-LIB	(//TOUTS)	MATCHEN	T 222				T	T 0.40	400		200	T	1
<u>-</u>	KITCHEN	KITCHEN	890	20	18	7	7.5	0.12	160	0.8	200	200	-
								PREV	IOUS OUTDO	OOR AIR SUF	PPLIED TO SI	PACE (CFM):	200
								. IXEV				JIRED (CFM):	
												R AIR (CFM):	

# By DBR Engineering Coil Space VAV

		100 C		Coil	Coil	Space	20120	VAV		Main Coil	Heating		
		Floor		Cooling	Cooling	Design	Air	Minimum	VAV	Heating	Fan	Per	cent
		Area	People	Sensible	Total	Max SA	Changes	SA	Minimum	Sensible	Max SA	(	DΑ
System Zone Room **		ft²	#	Btu/h	Btu/h	cfm	ach/hr	cfm	%	Btu/h	cfm	Clg	Htg
Alternative 1													
Wing Enclosure	Rm Peak	1,398	0.0	47,647	49,912	2,117	9.08	0	0	-39,412	2,117	5.0	5.0
HP/HPCU-CORRIDOR	Sys Peak	1,398	0.0	47,647	49,912	2,117				-39,412	2,117	5.0	5.0
HP/HPCU-CORRIDOR	Sys Block	1,398	0.0	47,647	49,912	2,117				-39,412	2,117	5.0	5.0
Gym	Rm Peak	2,380	80.0	107,966	159,116	3,739	5.89	0	0	-115,858	3,739	20.1	20.1
RTU-GYM	Sys Peak	2,380	80.0	107,966	159,116	3,739				-115,858	3,739	20.1	20.1
RTU-GYM	Sys Block	2,380	80.0	107,966	159,116	3,739				-115,858	3,739	20.1	20.1

Load / Airflow Summary

		ROOFTOP	JNIT SCHEDULE		
FAN AND MOTOR DATA	MARK	RTU-LIB	RTU-11	RTU-12	RTU-KIT
	SERVES	LIBRARY	GYM	GYM	KITCHEN
	SUPPLY AIR (CFM)	2250	3000	3000	2000
	MAX OUTSIDE AIR (CFM)	825	400	400	200
	MIN. OUTSIDE AIR (CFM)	240	75	75	200
	EXT. SP. (IN W.G.)	0.5	0.5	0.5	0.5
COOLING	TOTAL COOLING (MBH)	93.9	90	90	67.8
	SENSIBLE COOLING (MBH)	65.7	67.7	67.7	51.5
	NUMBER OF STAGES	2	2	2	1
	ENTERING AIR TEMP. DB/WB (F)	83.5/68.5	77.8/64	77.8/64	77.3/64.5
	LEAVING AIR TEMP. DB/WB (F)	54.8/54.5	55/54	55/54	52.4/52.4
	AMBIENT TEMP. (F)	105	105	105	105
GAS HEAT	TOTAL INPUT (MBH)	130	N.A.	N.A.	108
	TOTAL OUTPUT (MBH)	104	N.A.	N.A.	86
	NUMBER OF STAGES	2	N.A.	N.A.	2
ELECTRIC HEAT	HEATER POWER (KW)	N.A.	22.5	22.5	N.A.
	NUMBER OF STAGES	N.A.	1	1	N.A.
ELECTRIC	VOLTS/PHASE/HERTZ	208/3/60	208/3/60	208/3/60	208/3/60
	мса	40	69	69	35
	MOCP	50	70	70	50
GENERAL	MANUFACTURER	LENNOX	LENNOX	LENNOX	LENNOX
	MODEL	LGH102H4M	LCH092H4B	LCH092H4B	LGH072H4B
	I.E.E.R. / E.E.R. (ARI)	14/12.2	13 / 12.7	13 / 12.7	13.5/12.0
	WEIGHT (LBS)	1288	1297	1297	966
	NOTES	1,2,3,4,5,6,7,8	1,2,3,4,5,6,7,8	1,2,3,4,5,6,7,8	1,2,3,4,5,6,7,8

- 1. PROVIDE SINGLE POINT ELECTRICAL CONNECTION.
- PROVIDE FACTORY MOUNTED CONDENSER COIL HAIL GUARD.
- B. PROVIDE CO2 OUTSIDE AIR CONTROL WITH MODULATING OUTSIDE AIR AND RETURN AIR DAMPERS.
- PROVIDE ECONOMIZER CONTROL WITH POWER EXHAUST.
- 5. PROVIDE HOT GAS REHEAT COIL.
- 6. PROVIDE WITH CURB ADAPTER.
- . PROVIDE WITH ECONOMIZER.
- 8. PROVIDE WITH DUCT SMOKE DETECTOR.

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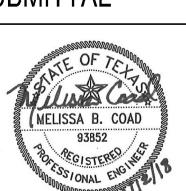
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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

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Drawn By Director RJ

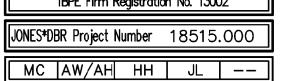
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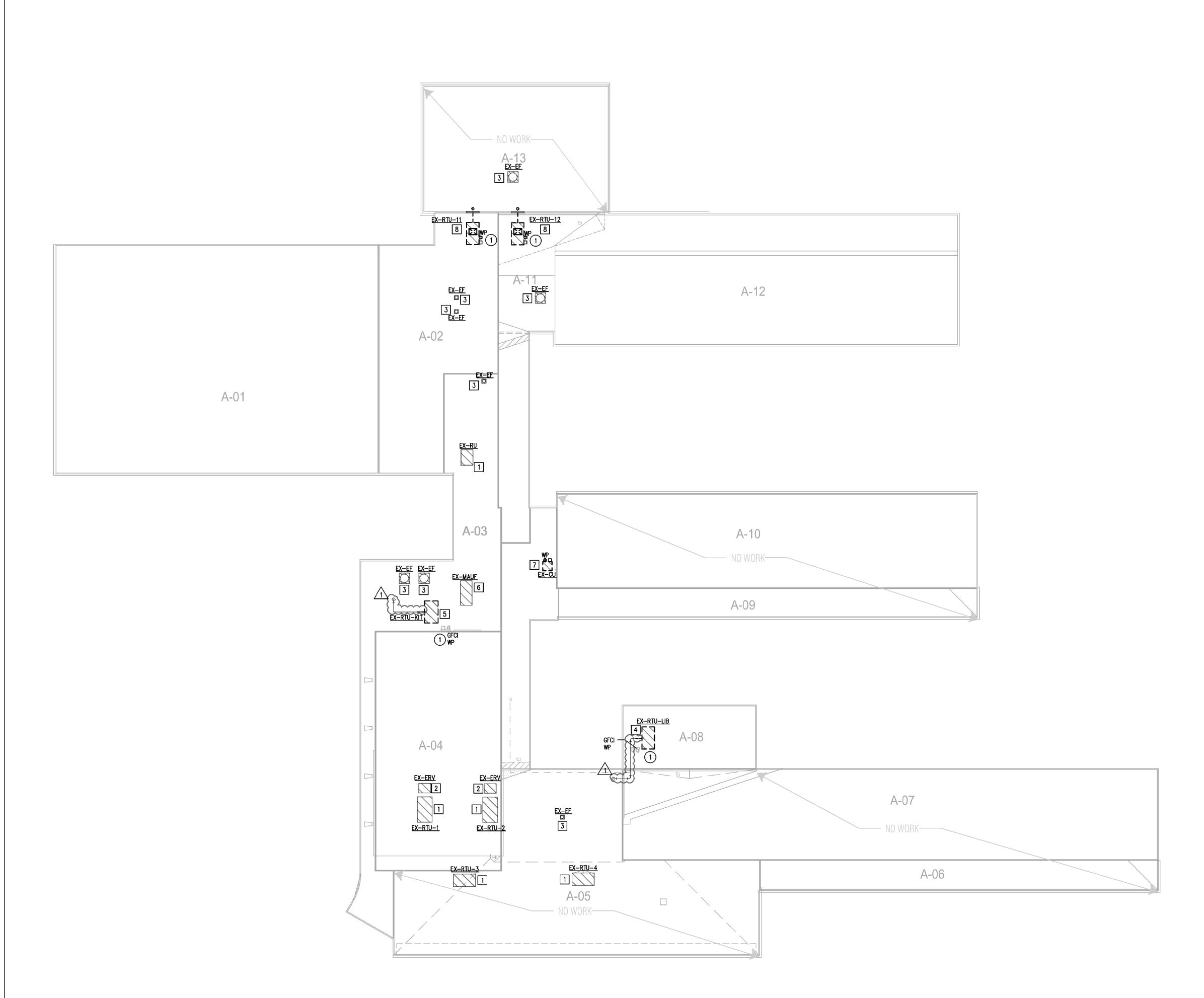
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1831.00

MEP DEMO **ROOF PLAN** 

MEP2.02







MECHANICAL KEYED NOTES:

MECHANICAL GENERAL NOTES:

ACCESS, SCHEDULING, AND/OR SECURITY.

AS NECESSARY, THE OWNER.

LEAKAGE RATE = 5%.

CONSTRUCTION COMPLETTION.

STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.

WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.

- 1 EXISTING ROOFTOP UNIT TO REMAIN. 2 EXISTING ERV UNIT TO REMAIN.
- 3 EXISTING EXHAUST FAN TO REMAIN.
- 4 EXISTING ROOFTOP UNIT SERVING LIBRARY TO BE REPLACED. REMOVE EXISTING UNIT FROM SPACE. PRIOR TO REMOVAL OF UNIT, CONTROL CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONTROLS WITHOUT DAMAGING THEM AND COORDINATE HANDING THEM OVER TO THE SERVICE CENTER FOR THE SCHOOL DISTRICT. CONTRACTOR SHALL MAINTAIN THE FXISTING COMMUNICATION WIRE FROM THE UNIT TO THE NEAREST FXISTING CONTROL PANEL FOR FUTURE USE WITH THE NEW UNIT PRIOR TO REMOVAL, CONTRACTOR SHALL MAKE REFERENCE OF EXISTING CONDENSATE SIZES AND ROUTING FROM UNIT FOR FUTURE RECONNECTION TO CONDENSATE FROM UNIT TO BE REMOVED FOR FUTURE REPLACEMENT.

A. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT

C. WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL

D. SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE.

E. PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND

G. OWNER (AISD) REQUIRES THAT R22 REFRIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE CONTRACTOR.

H. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND,

CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS,

J. COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND

K. NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH

L. CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON

N. ANY EXISTING CLOCKS IN HALLWAYS SUSPENDED FROM CEILING, TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS

O. ANY EXISTING EXITS SIGNS IN HALLWAYS WITH CEILINGS SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY

SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS

DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.

M. SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.

THE SMACNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT: MAXIMUM AIR

AISD AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD" OR "BAD" LABEL. THE

AISD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN RECLAIM ALL THE REFRIGERANT FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". AISD WILL BE PROVIDE THE CONTRACTOR WITH THE

CANISTERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE AISD PROJECT MANAGER FOR THIS

F. CONTRACTOR SHALL COORDINATE REMOVAL AND OFF-SITE DISPOSAL OF EXISTING MATERIALS AND ROUTING OF ANY NEW PIPING, CONDUIT, DUCTWORK AT THE JOB SITE TO AVOID DAMAGE OR CONFLICT WITH EXISTING SYSTEMS AND STRUCTURE. OBTAIN APPROVAL OF OWNER'S

PROJECT, WHO WILL CONTACT THE AISD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO ANY QUANTITY OF R22 REFRIGERANT.

OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.

B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.

CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.

REPRESENTATIVE BEFORE DISPOSING OF ITEMS. ITEMS TO KEEP SHALL BE DELIVERED TO THE OWNER.

QUANTITIES REQUIRED BY THE SPECIFICATIONS: OWNER'S MANUAL AND PROJECT RECORD DRAWINGS.

OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, CONDUIT, DUCTWORK, ETC... BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL

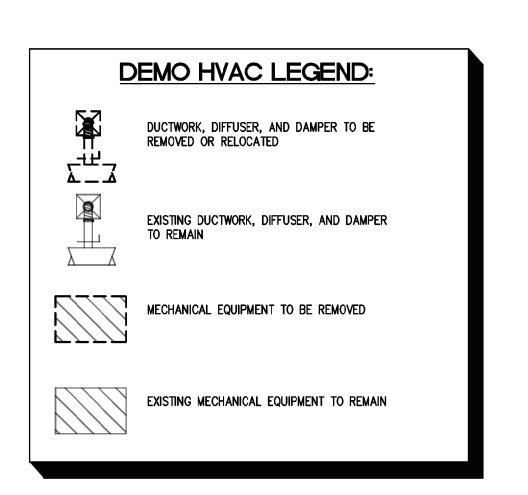
SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH

SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL

- 5 EXISTING ROOFTOP UNIT SERVING KITCHEN TO BE REPLACED. REMOVE EXISTING UNIT FROM SPACE. PRIOR TO REMOVAL OF UNIT, CONTROL CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONTROLS WITHOUT DAMAGING THEM AND COORDINATE HANDING THEM OVER TO THE SERVICE CENTER FOR THE SCHOOL DISTRICT. CONTRACTOR SHALL MAINTAIN THE EXISTING COMMUNICATION WRE FROM THE UNIT TO THE NEAREST EXISTING CONTROL PANEL FOR FUTURE USE WITH THE NEW UNIT, PRIOR TO REMOVAL, CONTRACTOR SHALL MAKE REFERENCE OF EXISTING CONDENSATE SIZES AND ROUTING FROM UNIT FOR FUTURE RECONNECTION TO EXISTING PIPE USING SAME SIZE AND SLOPE. EXISTING TRAP AND INITIAL SECTION OF CONDENSATE FROM UNIT TO BE REMOVED FOR FUTURE REPLACEMENT.
- 6 EXISTING MAKE—UP AIR UNIT TO REMAIN.
- 7 EXISTING SPLIT SYSTEM SERVING MDF ROOM TO BE REPLACED. REMOVE EXISTING CONDENSING UNIT AND ALL ASSOCIATED REFRIGERANT PIPING. INDOOR UNIT EXACT LOCATION TO BE FIELD VERIFIED AND REMOVED FROM SPACE.
- 8 EXISTING WATER SOURCE HEAT PUMP AND ASSOCIATED DUCTWORK INTO GYM TO BE REPLACED. REMOVE EXISTING UNIT AND ALL ASSOCIATED DUCTWORK AND PIPING FROM SPACE. EXISTING SUPPLY AND RETURN GRILLES IN GYM TO REMAIN FOR FUTURE RE-CONNECTION. PRIOR TO REMOVAL OF UNIT, CONTROL CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONTROLS WITHOUT DAMAGING AND COORDINATE HANDING OVER TO THE SERVICE CENTER FOR THE SCHOOL DISTRICT. CONTRACTOR SHALL MAINTAIN THE EXISTING COMMUNICATION WIRE FROM THE UNIT TO THE NEAREST EXISTING CONTROL PANEL FOR FUTURE USE WITH THE NEW UNIT.

# **ELECTRICAL KEYED NOTES:**

(1) EXISTING DISCONNECT AND FEEDER TO BE REMOVED ALONG WITH EXISTING MECHANICAL EQUIPMENT. CONTRACTOR IS TO FIELD VERIFY EXISTING PANEL — CIRCUIT PRIOR TO DEMOLITION. ALL CIRCUITS INDICATED ON PLANS ARE BASED UPON AS-BUILT DOCUMENTATION AND FIELD OBSERVATION. CONTACT ENGINEER OF RECORD UPON ANY DISCREPANCIES.



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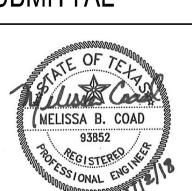
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AISD PROJECT # 19-0029-REILLY

CONSTRUCTION DOCUMENTS SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

Revision No.

CITY REVIEW COMMENTS

Drawn By Director

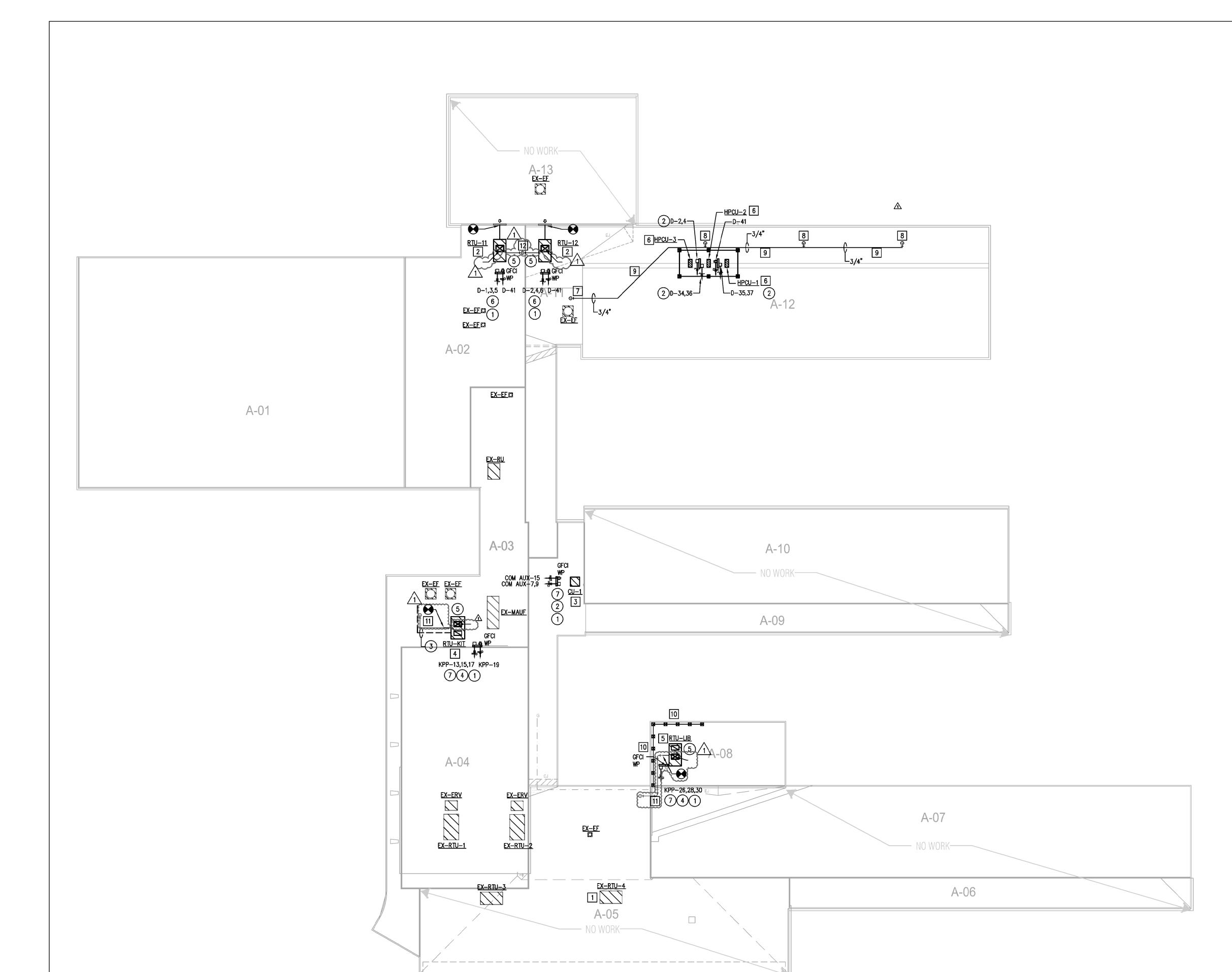
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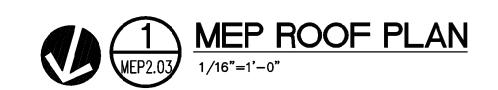
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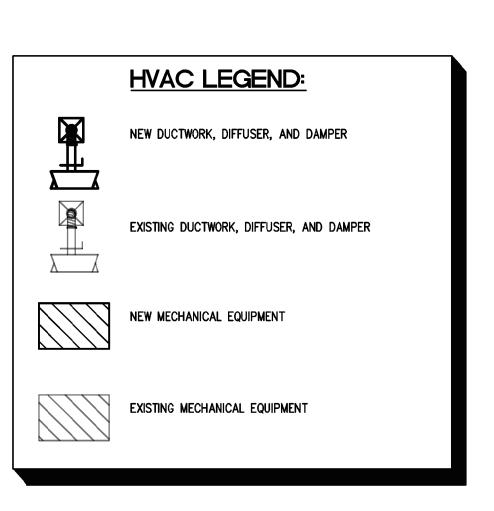
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MEP ROOF PLAN

MEP2.03







## MECHANICAL GENERAL NOTES:

- A. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING CONDUIT, LIGHTS, FIRE SPRINKLER PIPING, CONDENSATE PIPING, EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, FIRE SPRINKLER PIPING, CONDUIT, DUCTWORK, ETC.. BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.
- B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.
- C. WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL
- D. SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE. SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL ACCESS, SCHEDULING, AND/OR SECURITY.
  - PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.
  - OWNER (AISD) REQUIRES THAT R22 RERIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE CONTRACTOR. AISD AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD" OR "BAD" LABEL. THE AISD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN RECLAIM ALL THE REFRIGERANT FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". AISD WILL BE PROVIDE THE CONTRACTOR WITH THE CANISTERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE AISD PROJECT MANAGER FOR THIS PROJECT, WHO WILL CONTACT THE AISD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO ANY QUANTITY OF R22 REFRIGERANT.
- H. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND, AS NECESSARY, THE OWNER.
- CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS, STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.
- J. COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND QUANTITIES REQUIRED BY THE SPECIFICATIONS: OWNER'S MANUAL AND PROJECT RECORD DRAWINGS.
- K. NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH THE SMACNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT: MAXIMUM AIR
- CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON CONSTRUCTION COMPLETTION.
- M. PROVIDE BALANCING DAMPERS AT EACH SUPPLY AND RETURN BRANCH TAKE OFF.
- N. SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.
- O. CLOCKS IN HALLWAYS SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- P. EXIT SIGNS IN HALLWAYS WITH CEILING SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- Q. ALL DUCTWORK LOCATED OUTDOORS SHALL BE INSULATED PER SPECIFICATIONS FINISHED WITH ALUMINUM JACKETING.
- R. ALL CONDENSATE PIPING WITHIN BUILDING STRUCTURE SHALL BE INSULATED PER SPECIFICATIONS.

S. ALL FLEXIBLE DUCTOWORK AND CONNECTORS SHALL NOT EXCEED 5 FEET IN TOTAL LENGTH.

### MECHANICAL KEYED NOTES:

- 1 CONTRACTOR TO FIELD VERIFY EXACT ROUTING OF ROOFTOP UNIT CONDENSATE LINE. SEAL/REPAIR LEAKING PIPE AS REQUIRED.
- 2 PROVIDE NEW ROOF TOP UNITS TO SERVE GYM AT APPROXIMATE LOCATION SHOWN. UNIT SHALL BE INSTALLED FARTHER AWAY FROM GYM WALL AND PROVIDED WITH NEW ROOF FLASHINGS AND ROOF CURB MODIFICATIONS AS NEEDED TO MEET 18" MINIMUM HEIGHT REQUIREMENT. PROVIDE NEW DUCTWORK EQUAL TO EXISTING SIZE TO CONNECT TO EXISTING SUPPLY AND RETURN GRILLE SERVING GYM. PROVIDE ALL DUCT TRANSITION PIECES AS REQUIRED TO RE-USE EXISTING PENETRATIONS INTO EXISTING GYM WALL, INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED CLEARANCES (PROVIDE DUCT SMOKE DETECTOR IN SUPPLY DUCT.
- 3 PROVIDE REPLACEMENT SPLIT SYSTEM FOR MDF ROOM. UNITS SHALL BE INSTALLED IN SAME LOCATION AS PREVIOUSLY REMOVED UNIT. PROVIDE CONDENSER MOUNTING RACK FOR RAISING UNIT A MINIMUM OF 14" ABOVE ROOF. PROVIDE AND ROUTE REFRIGERANT LINES PER MANUFACTURER'S RECOMMENDATION. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED CLEARANCES.
- 4 PROVIDE REPLACEMENT ROOFTOP UNIT TO SERVE KITCHEN. UNIT SHALL BE INSTALLED IN SAME LOCATION AS PREVIOUSLY REMOVED UNIT PROVIDING NEW ROOF FLASHINGS WITH ROOF CURB MODIFICATIONS AS NEEDED TO MEET 18" MINIMUM HEIGHT REQUIREMENT. PROVIDE FITTINGS AS REQUIRED TO CONNECT TO EXISTING DUCTWORK, INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED CLEARANCES PROVIDE DUCT SMOKE DETECTOR IN SUPPLY DUCT. PROVIDE NEW GAS PIPING AND RECONNECT EXISTING GAS LINE TO NEW REPLACEMENT ROOFTOP UNIT PER MANUFACTURER'S RECOMMENDATIONS FOR A COMPLETE AND WORKING SYSTEM.
- 5 PROVIDE REPLACEMENT ROOFTOP UNIT TO SERVE LIBRARY. UNIT SHALL BE INSTALLED IN SAME LOCATION AS PREVIOUSLY REMOVED UNIT PROVIDING NEW ROOF FLASHINGS AND ROOF CURB MODIFICATIONS AS NEEDED TO MEET 18" MINIMUM HEIGHT REQUIREMENT. PROVIDE ALL DUCT TRANSITIONS AND FITTINGS. AS REQUIRED TO CONNECT TO EXISTING DUCTWORK. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED

  CLEARANCES PROVIDE DUCT SMOKE DETECTOR IN SUPPLY DUCT. PROVIDE NEW GAS PIPING AND RECONNECT EXISTING GAS LINE TO NEW REPLACEMENT ROOFTOP UNIT PER MANUFACTURER'S RECOMMENDATIONS FOR A COMPLETE AND WORKING SYSTEM.
- 6 PROVIDE DUCTLESS SPLIT SYSTEM HEAT PUMP FOR CORRIDOR ENCLOSURE CASSETTE UNITS. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL RECOMMENDED CLEARANCES WHILE MAINTAINING A MINIMUM DISTANCE OF 10 FEET FROM ANY EDGE OF ROOF. PROVIDE CONDENSER MOUNTING RACK FOR RAISING UNIT A MINIMUM OF 14" ABOVE ROOF. COORDINATE WITH MANUFACTURER FOR REFRIGERANT PIPE ROUTING PREFERENCES. COORDINATE WITH ELECTRICAL FOR POWER REQUIREMENTS.
- 7 ROUTE 3/4" INSULATED CONDENSATE PIPING DOWN TO STORAGE ROOM SINK. REFER TO SHEET M2.02 FOR PIPE CONTINUATION.
- 8 ROUTE 3/4" INSULATED CONDENSATE PIPING DOWN TO CEILING MOUNTED CASSETTE UNIT IN CORRIDOR ENCLOSURE. REFER TO SHEET M2.02 FOR PIPE
- 9 ALL CONDENSATE PIPING ON ROOF SHALL BE INSULATED AND SLOPED AT A MINIMUM OF 1/8TH INCH PER FOOT. PROVIDE PIPE WITH PORTABLE PIPE HANGER "MODEL SS8-5" SUPPORTS FOR ENTIRE ROUTING ACROSS ROOF LEVEL. PROVIDE SUPPORTS AT A MINIMUM OF EVERY 8 FEET.
- 10 FALL PROTECTION RAILING. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL PROVIDE AS REQUIRED BY CODE. PROVIDE AND ROUTE INSULATED CONDENSATE PIPING ON ROOF TO CONNECT TO EXISTING CONDENSATE ON ROOF. SUPPORT PIPE EVERY 4 FEET SLOPING
- AT 1/4"PER FOOT. CONTRACTOR SHALL PROVIDE NEW TRAP WITH NEW UNIT UPON CONNECTING TO NEW REPLACEMENT UNIT. PROVIDE AND ROUTE 1" INSULATED CONDENSATE PIPING COMBINED FROM RTU-11 AND RTU-12 DOWN THROUGH ROOF TO FLOOR DRAIN IN STORAGE ROOM. REFER TO SHEET M2.02 FOR PIPE CONTINUATION. SUPPORT PIPE EVERY 4 FEET SLOPING AT 1/8" PER FOOT. CONTRACTOR SHALL PROVIDE NEW

# **ELECTRICAL KEYED NOTES:**

TRAP WITH NEW UNIT UPON REPLACEMENT.

- 1) PROVIDE NEW DISCONNECT ON STAND-ALONE UNISTRUT RACK TO SERVE UPDATED MECHANICAL EQUIPMENT. DISCONNECT TO MATCH EXISTING DISCONNECT VOLTAGE, AMPACITY AND NEMA RATING. CONTRACTOR TO FIELD VERIFY EXISTING CIRCUIT, FEEDER AND BREAKER PRIOR TO CONNECTION. CONTRACTOR TO VERIFY FEEDER, BREAKER AND DISCONNECT MEET MANUFACTURER'S REQUIREMENTS FOR NEW MECHANICAL EQUIPMENT. REPLACE ALL ELECTRICAL SERVICE TO MECHANICAL UNIT IF ELECTRICAL EQUIPMENT, DEVICES, FEEDERS AND CONDUIT ARE NOT ADEQUATE FOR NEW MECHANICAL UNIT. COORDINATE WITH EXISTING EQUIPMENT PRIOR TO DEMOLITION AND INSTALLATION. SPLICE EXISTING FEEDERS AND EXTEND EXISTING CONDUIT AS NECESSARY.
- (2) PROVIDE NEW STAND-ALONE UNISTRUT RACK-MOUNTED DISCONNECT. 30A/NF/208/1PH/NEMA 3R.
- 3 EXISTING ELECTRICAL CONDUIT TO BE RAISED AT ROOF PENETRATION BY ELECTRICAL CONTRACTOR. REFER TO 2/A3.0 FOR CLEARANCE REQUIREMENTS AND NEW ROOF FLASHING.
- (4) PROVIDE NEW STAND-ALONE UNISTRUT RACK-MOUNTED DISCONNECT. 60A/NF/208/3PH/NEMA 3R.
- (5) provide duct detector in return duct of mechanical unit. Duct smoke detector provided by mechanical contractor and wire to fire ALARM CONTROL PANEL PROVIDED BY FIRE ALARM CONTRACTOR.
- (6) PROVIDE NEW STAND-ALONE UNISTRUT RACK-MOUNTED DISCONNECT. 100A/NF/208/3PH/NEMA 3R.
- 7 PANEL/BREAKER BASED UPON AS-BUILT DOCUMENTATION AND FIELD VERIFICATION.

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