



FACILITY CONDITION ASSESSMENT

Sunset Valley ES | February 2022



Executive Summary

Sunset Valley ES is located at 3000 Jones Rd in Austin, Texas. The oldest building is 49 years old (at time of 2020 assessment). It comprises 67,227 gross square feet.

The findings contained within this report are the result of an assessment of building systems and the conditions found on the site at the time of the visit. The assessment was performed by building professionals experienced in disciplines including architecture, mechanical, plumbing and electrical. The total current deficiencies for this site, in 2020 construction cost dollars, are estimated at \$7,582,968. A ten-year need was developed to provide an understanding of the current need as well as the projected needs in the near future. For Sunset Valley ES the ten-year need is \$12,037,314.

For master planning purposes, the total current deficiencies and the first five years of projected life cycle needs were combined to calculate a Facility Condition Assessment (FCA) score. A 5-year FCA was calculated by dividing the 5-year need by the total replacement cost. Costs associated with new construction are not included in the FCA calculation. The Sunset Valley ES facility has a 5-year FCA score of 57.86%.

Summary of Findings

The table below summarizes the condition findings at Sunset Valley ES

Table 1: Facility Condition by Building

Number	Building Name	Current Deficiencies	5-Year Life Cycle Cost	Yrs 6-10 Life Cycle Cost	Total 5 Yr Need (Yr 1-5 + Current Defs)	Total 10 Yr Need (Yr 1-10 + Current Defs)	Replacement Cost	5-Year FCA
Exterior Site								
	Exterior Site	\$1,412,543	\$312,520	\$254,466	\$1,725,063	\$1,979,529	\$0	
Permanent Building(s)								
158A	Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.	\$5,885,834	\$1,267,217	\$2,270,276	\$7,153,051	\$9,423,327	\$19,065,670	62.48%
158B	Stand-Alone Classroom Building	\$284,591	\$140,484	\$209,383	\$425,075	\$634,458	\$3,011,008	85.88%
Sub Total for Permanent Building(s):		\$6,170,425	\$1,407,701	\$2,479,659	\$7,578,126	\$10,057,785	\$22,076,676	
Total for Site:		\$7,582,968	\$1,720,221	\$2,734,125	\$9,303,189	\$12,037,314	\$22,076,676	57.86%

Approach and Methodology

A facility condition assessment evaluates each building's overall condition. Two components of the facility condition assessment are combined to total the cost for facility need. The two components of the facility condition assessment are current deficiencies and life cycle forecast.

Current Deficiencies: Deficiencies are items in need of repair or replacement as a result of being broken, obsolete, or beyond useful life. The existing deficiencies that currently require correction are identified and assigned a priority. An example of a current deficiency might include a broken lighting fixture or an inoperable roof top air conditioning unit.

Life Cycle Forecast: Life cycle analysis evaluates the ages of a building's systems to forecast system replacement as they reach the end of serviceable life. An example of a life cycle system replacement is a roof with a 20-year life that has been in place for 15 years and may require replacement in five years.

All members of the survey team recorded existing conditions, identified problems and deficiencies, and documented corrective action and quantities. The team took digital photos at each site to better identify significant deficiencies.

Facility Deficiency Priority Levels

Deficiencies were ranked according to five priority levels, with Priority 1 items being the most critical to address:

Priority 1 – Mission Critical Concerns: Deficiencies or conditions that may directly affect the site's ability to remain open or deliver the educational curriculum. These deficiencies typically relate to building safety, code compliance, severely damaged or failing building components, and other items that require near-term correction. An example of a Priority 1 deficiency is a fire alarm system replacement.

Priority 2 - Indirect Impact to Educational Mission: Items that may progress to a Priority 1 item if not addressed in the near term. Examples of Priority 2 deficiencies include inadequate roofing that could cause deterioration of integral building systems, and conditions affecting building envelopes, such as roof and window replacements.

Priority 3 - Short-Term Conditions: Deficiencies that are necessary to the site's mission but may not require immediate attention. These items should be considered necessary improvements required to maximize facility efficiency and usefulness. Examples of Priority 3 items include site improvements and plumbing deficiencies.

Priority 4 - Long-Term Requirements: Items or systems that may be considered improvements to the instructional environment. The improvements may be aesthetic or provide greater functionality. Examples include cabinets, finishes, paving, removal of abandoned equipment, and educational accommodations associated with special programs.

Priority 5 - Enhancements: Deficiencies aesthetic in nature or considered enhancements. Typical deficiencies in this priority include repainting, replacing carpet, improved signage, or other improvements to the facility environment.

The following table summarizes this site's current deficiencies by building system and priority.

Table 2: System by Priority (Site & Permanent Buildings)

System	Priority					Total	% of Total
	1	2	3	4	5		
Site	\$0	\$0	\$0	\$0	\$1,404,658	\$1,404,658	18.54 %
Roofing	\$0	\$0	\$0	\$0	\$0	\$0	0.00 %
Structural	\$6,455	\$0	\$0	\$0	\$0	\$6,455	0.09 %
Exterior	\$0	\$276,543	\$689	\$5,082	\$52,257	\$334,572	4.42 %
Interior	\$0	\$0	\$262,408	\$1,629,671	\$192,704	\$2,084,783	27.52 %
Mechanical	\$0	\$172,505	\$0	\$2,062	\$0	\$174,567	2.30 %
Electrical	\$0	\$74,331	\$1,179,016	\$0	\$0	\$1,253,347	16.54 %
Plumbing	\$0	\$0	\$6,384	\$0	\$0	\$6,384	0.08 %
Fire and Life Safety	\$0	\$0	\$0	\$0	\$0	\$0	0.00 %
Conveyances	\$0	\$0	\$0	\$0	\$0	\$0	0.00 %
Specialties	\$0	\$0	\$0	\$748,693	\$0	\$748,693	9.88 %
Crawlspace	\$0	\$0	\$0	\$0	\$1,562,204	\$1,562,204	20.62 %
Total:	\$6,455	\$523,379	\$1,448,497	\$2,385,508	\$3,211,823	\$7,575,661	

The building systems at the site with the most need include:

Interior	-	\$2,084,783
Site	-	\$1,404,658
Electrical	-	\$1,253,347

The chart below represents the building systems and associated deficiency costs.

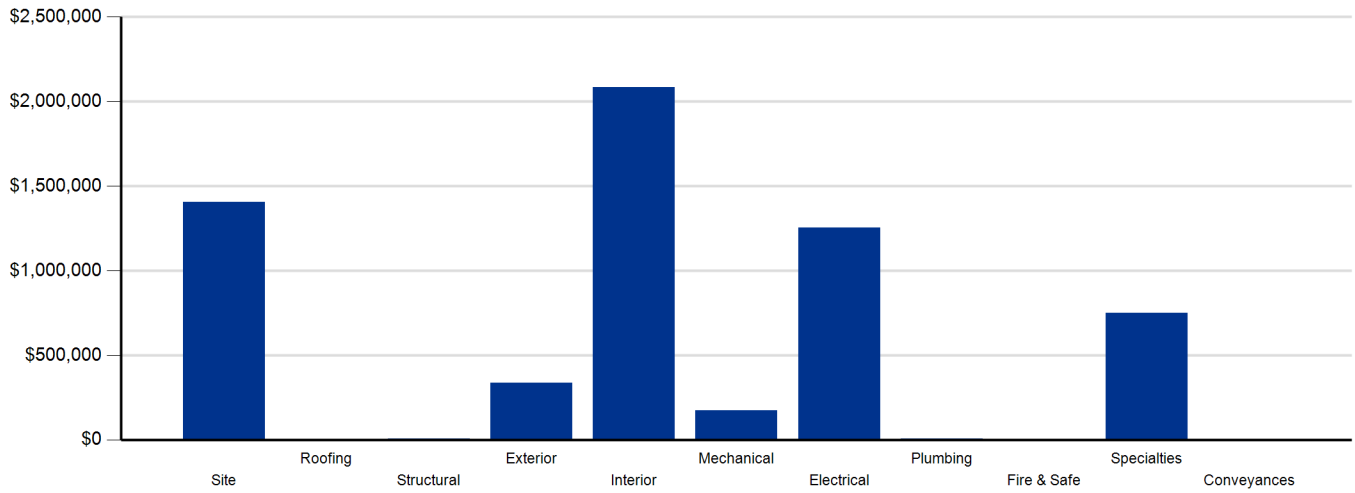


Figure 1: System Deficiencies

Life Cycle Capital Renewal Forecast

During the facility condition assessment, assessors inspected all major building systems. If an assessor identified a need for immediate replacement, a deficiency was created with the item's repair costs. The identified deficiency contributes to the facility's total current repair costs.

However, capital planning scenarios span multiple years, as opposed to being constrained to immediate repairs. Construction projects may begin several years after the initial facility condition assessment. Therefore, in addition to the current year repair costs, it is necessary to forecast the facility's future costs using a ten-year life cycle renewal forecast model.

Life cycle renewal is the projection of future building system costs based upon each individual system's expected serviceable life. Building systems and components age over time, eventually break down, reach the end of their useful lives, and may require replacement. While an item may be in good condition now, it might reach the end of its life before a planned construction project occurs.

The following tables show current deficiencies and the subsequent ten-year life cycle capital renewal projections. The projections outline costs for major building systems in which a component is expected to reach the end of its useful life and require capital funding for replacement.

Table 3a: Capital Renewal Forecast (Yrs 1-5)

System	Life Cycle Capital Renewal Projections					Total 1-5
	Year 1 2023	Year 2 2024	Year 3 2025	Year 4 2026	Year 5 2027	
Site	\$0	\$0	\$0	\$0	\$185,683	\$185,683
Roofing	\$0	\$0	\$0	\$0	\$126,837	\$126,837
Exterior	\$0	\$0	\$0	\$0	\$22,242	\$22,242
Interior	\$0	\$0	\$0	\$28,208	\$35,636	\$63,844
Mechanical	\$0	\$0	\$478,634	\$38,381	\$56,254	\$573,269
Electrical	\$0	\$0	\$68,953	\$0	\$36,366	\$105,319
Plumbing	\$0	\$0	\$6,607	\$368,892	\$81,086	\$456,585
Fire and Life Safety	\$0	\$0	\$0	\$0	\$133,631	\$133,631
Conveyances	\$0	\$0	\$0	\$0	\$0	\$0
Specialties	\$0	\$0	\$0	\$0	\$52,811	\$52,811
Crawlspace	\$0	\$0	\$0	\$0	\$0	\$0
Total	\$0	\$0	\$554,194	\$435,481	\$730,546	\$1,720,221

Table 3b: Capital Renewal Forecast (Yrs 6-10)

System	Life Cycle Capital Renewal Projections						Total 6-10	Total 1-10
	Total 1-5	Year 6 2028	Year 7 2029	Year 8 2030	Year 9 2031	Year 10 2032		
Site	\$185,683	\$0	\$0	\$0	\$0	\$254,466	\$254,466	\$440,149
Roofing	\$126,837	\$0	\$0	\$0	\$0	\$0	\$0	\$126,837
Exterior	\$22,242	\$0	\$5,082	\$0	\$0	\$1,559,899	\$1,564,981	\$1,587,223
Interior	\$63,844	\$0	\$107,219	\$36,752	\$0	\$167,374	\$311,345	\$375,189
Mechanical	\$573,269	\$0	\$0	\$0	\$0	\$812,916	\$812,916	\$1,386,185
Electrical	\$105,319	\$0	\$0	\$0	\$0	\$168,146	\$168,146	\$273,465
Plumbing	\$456,585	\$0	\$0	\$0	\$0	\$10,844	\$10,844	\$467,429
Fire and Life Safety	\$133,631	\$0	\$0	\$0	\$106,743	\$0	\$106,743	\$240,374
Conveyances	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Specialties	\$52,811	\$0	\$0	\$0	\$0	\$0	\$0	\$52,811
Crawlspace	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total	\$1,720,221	\$0	\$112,301	\$36,752	\$106,743	\$2,973,645	\$3,229,441	\$4,949,662

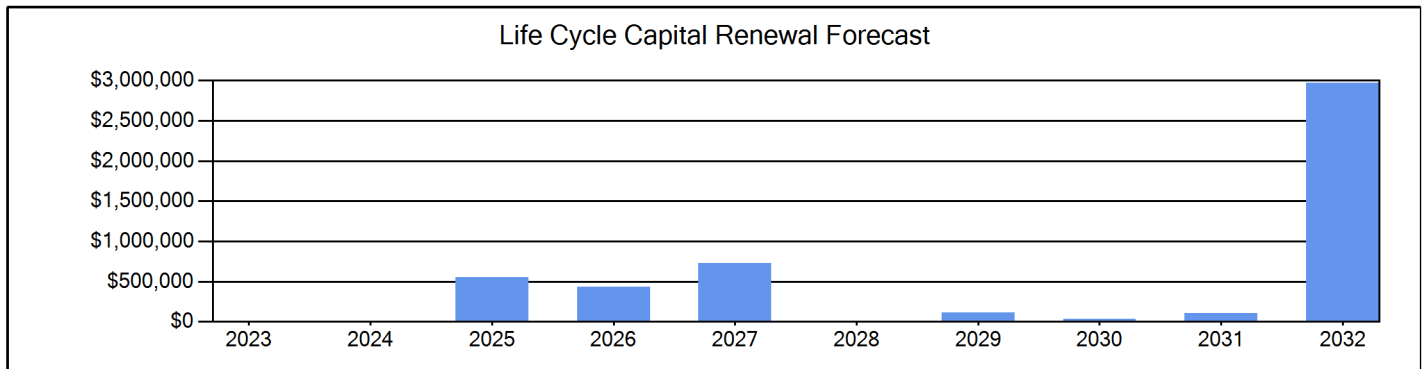


Figure 2: Ten Year Capital Renewal Forecast

Facility Condition Assessment Score

The Facility Condition Assessment Score (FCAS) is used throughout the facility condition assessment industry as a general indicator of a building’s health. The FCAS is used to benchmark the relative condition of a group of sites. The FCAS is derived by dividing the total repair cost, site-related repairs, by the total replacement cost and subtracting it from 100. A facility with a lower FCAS percentage has more need, or higher priority, than a facility with a lower FCAS. It should be noted that costs in the New Construction category are not included in the FCAS calculation.

$$FCAS = 100 - (\text{Total Repair Cost} / \text{Replacement Cost})$$

For master planning purposes, the total current deficiencies and the first five years of projected life cycle needs were combined. This provides an understanding of the current needs of a facility as well as the projected needs in the near future. A 5-year FCAS was calculated by dividing the 5-year need by the total replacement cost. Costs associated with new construction are not included in the FCAS calculation.

- Very Unsatisfactory (0-35)
- Unsatisfactory (36-50)
- Average (51-65)
- Satisfactory (66-80)
- Very Satisfactory (81-100)

Financial modeling has shown that over a 30-year period, it is more cost effective to replace than repair sites with a FCAS of 35 percent or greater. This is due to efficiency gains with facilities that are more modern and the value of the building at the end of the analysis period. It is important to note that the FCAS at which a facility should be considered for replacement is typically debated and adjusted based on property owners and facility managers approach to facility management. Of course, FCAS is not the only factor used to identify buildings that need renovation, replacement, or even closure. Historical significance, enrollment trends, community sentiment, and the availability of capital are additional factors that are analyzed when making campus facility decisions.

The replacement value represents the estimated cost of replacing the current building with another building of like size, based on today’s estimated cost of construction in the Austin area. The estimated replacement cost for this facility is \$22,076,676. For planning purposes, the total 5-year need at the Sunset Valley ES is \$9,303,189 (Life Cycle Years 1-5 plus the FCA deficiency cost). The Sunset Valley ES facility has a 5-year FCA of 57.86%.

5-Year Need vs. Replacement

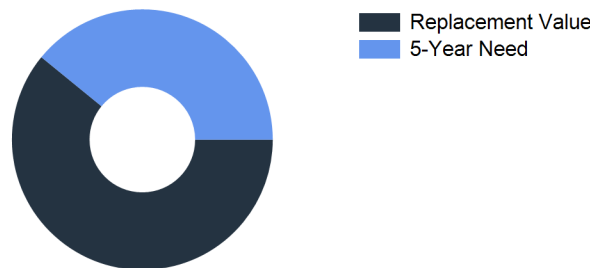


Figure 3: 5-Year FCA

Sunset Valley ES - Deficiency Summary

Site Level Deficiencies

Site

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
PROGRAM DEFICIENCIES	ADA Compliance	500,079	EACH	5	\$858,626	2470
Note: Site/Exterior Improvements Estimated Construction Cost for Site Plan Area B \$ 17,239.89 Estimated Construction Cost Subtotal for Site/Exterior Improvements Excluding Division 1 \$ 17,239.89 Interior Improvements Estimated Construction Cost for Floor Plan Area 4 (Building A) \$ 7,479.18 Estimated Construction Cost for Floor Plan Area 5 (Building A) \$ 50,925.11 Estimated Construction Cost for Floor Plan Area 6A & 6B (x2) (Building A) \$ 130,284.30 Estimated Construction Cost for Floor Plan Area 7 (Building A) \$ 138,246.18 Estimated Construction Cost for Floor Plan Area 8A & 8B & 8C & 8D (x4) (Building B) \$ 155,904.24 Estimated Construction Cost Subtotal for Interior Improvements Excluding Division 1 \$ 482,839.01 Total Estimated Construction Cost Subtotal for Program Deficiency Improvements \$ 500,078.90						
Location: AISD ADA REPORT						
PUBLIC DEFICIENCIES	ADA Compliance	161,968	EACH	5	\$278,096	2469
Note: Site/Exterior Improvements Estimated Construction Cost for Site Plan Area A \$ 1,665.49 Estimated Construction Cost Subtotal for Site/Exterior Improvements Excluding Division 1 \$ 1,665.49 Interior Improvements Estimated Construction Cost for Floor Plan Area 1 (Building A) \$ 85,866.84 Estimated Construction Cost for Floor Plan Area 2 (Building A) \$ 66,740.93 Estimated Construction Cost for Floor Plan Area 3 (Building A) \$ 7,694.26 Estimated Construction Cost Subtotal for Interior Improvements Excluding Division 1 \$ 160,302.03 Total Estimated Construction Cost Subtotal for Public Deficiency Improvements \$ 161,967.52						
Location: AISD ADA REPORT						
Small Bench Replacement	Deferred Maintenance	23	Ea.	5	\$47,537	2456
TAS ACCESSIBILITY DEFICIENCIES	ADA Compliance	128,364	EACH	5	\$220,399	2471
Note: Interior Improvements Estimated Construction Cost for Floor Plan Area 9 \$ 19,675.44 Estimated Construction Cost for Floor Plan Area 10 \$ 81,308.79 Estimated Construction Cost for Floor Plan Area 11 \$ 27,379.74 Estimated Construction Cost Subtotal for TAS Improvements Excluding Division 1 \$ 128,363.97 Total Estimated Construction Cost Subtotal for TAS Deficiency Improvements \$ 128,363.97						
Location: AISD ADA REPORT						
Sub Total for System		4	items		\$1,404,658	

Structural

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Structural Study Recommended	Deferred Maintenance	1	Job	1	\$6,455	6571
Note: Structural study to detail scope of work based on the 2017 crawlspace deficiencies provided by AISD						
Sub Total for System		1	items		\$6,455	

Electrical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Exterior Electrical Enclosure Replacement	Deferred Maintenance	2	Ea.	2	\$1,430	2455
Note: Site transformer is aged						
Sub Total for System		1	items		\$1,430	
Sub Total for School and Site Level		6	items		\$1,412,543	

Building: 158A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.

Exterior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Aluminum Window Replacement	Capital Renewal	720	SF	2	\$71,803	1869
Note: 30 @ 3x8; replace due to age						
Aluminum Window Replacement	Capital Renewal	80	SF	2	\$7,978	1897
Note: 5 @ 4x4						
Aluminum Window Replacement	Capital Renewal	240	SF	2	\$23,934	1898
Note: 20 @ 3x4						
Aluminum Window Replacement	Capital Renewal	168	SF	2	\$16,754	1899

Exterior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Metal Exterior Door Replacement Note: replace due to age	Capital Renewal	29	Door	2	\$107,503	1900
Metal Exterior Door Replacement	Capital Renewal	6	Door	2	\$22,242	1901
Exterior Painting (Bldg SF) Note: Metal sections	Capital Renewal	2,903	SF	4	\$5,082	2465
Exterior Cleaning	Deferred Maintenance	13,493	SF Wall	5	\$52,257	2473
Sub Total for System		8	items		\$307,554	

Interior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Interior Door Hardware Replacement	Capital Renewal	82	Door	3	\$121,738	2463
Interior Door Replacement Note: replace due to age	Capital Renewal	21	Door	3	\$39,388	2360
Interior Door Replacement Note: replace due to age	Capital Renewal	54	Door	3	\$101,282	2361
Acoustical Ceiling Tile Replacement Note: age Location: various	Capital Renewal	11,611	SF	4	\$39,209	1962
Adhered Acoustical Ceiling Tile Replacement Location: Cafeteria	Capital Renewal	5,806	SF	4	\$40,455	2461
Carpet Flooring Replacement Note: replace due to age Location: library	Capital Renewal	2,903	SF	4	\$36,752	2074
Ceiling Grid Replacement Note: age Location: various	Capital Renewal	11,611	SF	4	\$48,351	1960
Ceramic Tile Flooring Replacement Note: replace due to age Location: IRR's	Capital Renewal	2,903	SF	4	\$51,288	2075
Interior Wood Wall Replacement (LC) Note: replace due to age	Capital Renewal	35,000	SF	4	\$548,873	2067
Metal Interior Door Replacement Note: replace due to age	Capital Renewal	5	Door	4	\$14,469	2358
Metal Interior Door Replacement Note: replace due to age	Capital Renewal	2	Door	4	\$5,788	2359
Moveable Partition Replacement Note: replace due to age Location: various	Capital Renewal	800	SF Wall	4	\$129,079	2072
Toilet Partition Replacement Note: replace due to age	Capital Renewal	7	Stall	4	\$14,115	2070
Vinyl Composition Tile Replacement Note: replace due to age	Capital Renewal	42,846	SF	4	\$355,841	2077
Wood Flooring Replacement Note: replcae due to age Location: stage/gym	Capital Renewal	5,806	SF	4	\$125,061	2078
Interior Ceiling Repainting	Deferred Maintenance	40,640	SF	5	\$84,637	2462
Interior Wall Repainting (Bldg SF)	Capital Renewal	17,417	SF	5	\$78,044	2449
Sub Total for System		17	items		\$1,834,370	

Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Boiler Replacement Note: age/condition Location: mech room	Capital Renewal	1	Ea.	2	\$24,593	2374
Boiler Replacement	Capital Renewal	1	Ea.	2	\$147,912	2375

Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Ceiling Exhaust Fan Replacement	Capital Renewal	4	Ea.	4	\$1,947	2472
Ductwork Repair	Deferred Maintenance	20	LF	4	\$115	2379
Note: rust/exposed						
Location: gym						
Sub Total for System		4	items		\$174,567	

Electrical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Panelboard Replacement	Capital Renewal	1	Ea.	2	\$2,782	2365
Note: no remaining life						
Panelboard Replacement	Capital Renewal	10	Ea.	2	\$54,995	2366
Panelboard Replacement	Capital Renewal	1	Ea.	2	\$12,342	2367
Panelboard Replacement	Capital Renewal	1	Ea.	2	\$2,782	2370
Exterior Mounted Building Lighting Replacement	Capital Renewal	23	Ea.	3	\$20,740	2372
Note: no remainin glife						
Lighting Fixtures Replacement	Capital Renewal	58,057	SF	3	\$1,064,681	2373
Note: no remaining life						
Lightning Protection System Installation	Functional Deficiency	58,057	SF	3	\$45,338	2371
Note: none installed						
Public Address System Replacement, Non-main Building	Deferred Maintenance	58,057	SF	3	\$41,097	2368
Sub Total for System		8	items		\$1,244,756	

Plumbing

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Gas Water Heater Replacement	Capital Renewal	1	Ea.	3	\$6,384	3476
Sub Total for System		1	items		\$6,384	

Technology

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Public Address System Head-End Requires Replacement	Functional Deficiency	1	Ea.	3	\$7,307	2369
Sub Total for System		1	items		\$7,307	

Specialties

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Base Storage Cabinet Replacement	Capital Renewal	280	LF	4	\$154,293	2362
Note: replace due to age						
Location: various						
Replace Cabinetry In Classes/Labs	Capital Renewal	37	Room	4	\$325,669	3523
Upper Storage Cabinet Replacement	Capital Renewal	250	LF	4	\$268,730	2363
Note: replace due to age						
Location: various						
Sub Total for System		3	items		\$748,693	

Crawlspace

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	159,929	Ea.	5	\$187,893	6565
Note: SOIL/DRAINAGE BELOW BUILDING - correct standing water - 57449 SF						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	53,478	Ea.	5	\$62,829	6566
Note: PERIMETER SOIL RETAINERS - repair soil retainers - 1921 LS						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	247,890	Ea.	5	\$291,234	6567
Note: CRAWL SPACE ACCESS/VENTILATION - improve ventilation - 57449 SF						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	16,703	Ea.	5	\$19,624	6568
Note: CRAWL SPACE ACCESS/VENTILATION - repair access hatch - 6 EA						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	799,646	Ea.	5	\$939,465	6569
Note: SUSPENDED FLOOR SLABS - repair cracks, spalling & reinforcement - 57449 GSF						

Crawlspace

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	52,058	Ea.	5	\$61,160	6570
Note: CRAWL SPACE, EXPOSED PIPES - Repair rusted pipes and hangers - 1 IS						
	Sub Total for System	6	items		\$1,562,204	
Sub Total for Building 158A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.		48	items		\$5,885,834	

Building: 158B - Stand-Alone Classroom Building
Exterior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Aluminum Window Replacement	Capital Renewal	240	SF	2	\$23,934	2481
Aluminum Window Replacement	Capital Renewal	24	SF	2	\$2,393	2482
Exterior Metal Door Repainting	Deferred Maintenance	2	Door	3	\$230	1902
Exterior Metal Door Repainting	Deferred Maintenance	4	Door	3	\$460	1903
	Sub Total for System	4	items		\$27,017	

Interior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Acoustical Ceiling Tile Replacement	Capital Renewal	8,711	SF	4	\$29,415	1907
Ceiling Grid Replacement	Capital Renewal	8,711	SF	4	\$36,275	1904
Note: replace due to age						
Location: all						
Interior CMU Walls Repainting	Capital Renewal	2,200	SF	4	\$2,272	1912
Note: repaint due to age						
Moveable Partition Replacement	Capital Renewal	480	SF Wall	4	\$77,447	1915
Note: 4 @ 15x8						
Vinyl Composition Tile Replacement	Capital Renewal	9,169	SF	4	\$74,981	1916
Note: replace due to age						
Location: all						
Interior Door Repainting	Deferred Maintenance	9	Door	5	\$402	1917
Note: w/o windows						
Interior Door Repainting	Deferred Maintenance	10	Door	5	\$446	1928
Note: repaint due to age						
Interior Wall Repainting (Bldg SF)	Capital Renewal	6,511	SF	5	\$29,175	2466
	Sub Total for System	8	items		\$250,413	

Electrical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Lightning Protection System Installation	Functional Deficiency	9,169	SF	3	\$7,160	2364
	Sub Total for System	1	items		\$7,160	
Sub Total for Building 158B - Stand-Alone Classroom Building		13	items		\$284,591	
Total for Campus		67	items		\$7,582,968	

Sunset Valley ES - Life Cycle Summary Yrs 1-10

Site Level Life Cycle Items

Site

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Fences and Gates	Fencing - Chain Link (4 Ft)	1,720	LF	\$81,179	5
Playfield Areas	ES Playgrounds	2	Ea.	\$44,696	5
Pedestrian Pavement	Sidewalks - Concrete	5,280	SF	\$59,808	5
Parking Lot Pavement	Asphalt	105	CAR	\$152,334	10
Roadway Pavement	Asphalt Driveways	12,000	SF	\$77,165	10
Roadway Pavement	Concrete Driveways	2,000	SF	\$24,967	10
Sub Total for System		6	items	\$440,150	

Roofing

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Canopy Roofing	Steel panels	2,500	SF	\$126,837	5
Sub Total for System		1	items	\$126,837	
Sub Total for Building -		7	items	\$566,987	

Building: 158A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.

Exterior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Exterior Wall Veneer	Exterior Painting - Bldg SF basis	2,903	SF	\$5,082	7
Exterior Wall Veneer	Brick - Bldg SF basis	55,154	SF	\$1,549,529	10
Exterior Wall Veneer	Metal Panel - Bldg SF basis	2,903	SF	\$10,370	10
Sub Total for System		3	items	\$1,564,981	

Interior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Wall Painting and Coating	Painting/Staining (Bldg SF)	17,417	SF	\$78,044	7
Carpeting	Carpet	2,903	SF	\$36,752	8
Acoustical Suspended Ceilings	Ceilings - Acoustical Tiles	11,611	SF	\$39,207	10
Compartments and Cubicles	Toilet Partitions	7	Stall	\$14,115	10
Suspended Plaster and	Painted ceilings	40,640	SF	\$84,637	10
Sub Total for System		5	items	\$252,756	

Mechanical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Decentralized Cooling	Fan Coil - D/X only (5 Ton)	1	Ea.	\$2,617	3
Decentralized Cooling	Condenser - Outside Air Cooled (3 Tons)	1	Ea.	\$6,423	3
HVAC Air Distribution	Ductwork (Bldg,SF)	58,057	SF	\$459,373	3
Exhaust Air	Interior Ceiling Exhaust Fan	21	Ea.	\$10,221	3
Other HVAC Distribution Systems	VFD (10 HP)	3	Ea.	\$17,122	4
Other HVAC Distribution Systems	VFD (15 HP)	1	Ea.	\$7,559	4
Facility Hydronic Distribution	Pump - 5HP	2	Ea.	\$13,700	4
Exhaust Air	Roof Exhaust Fan - Large	7	Ea.	\$56,254	5
Heat Generation	Boiler - Steel Tube (750 MBH)	1	Ea.	\$24,593	10
Heat Generation	Boiler - Steel Tube (4800 MBH)	1	Ea.	\$147,912	10
Heating System Supplementary Components	Controls - DDC (Bldg,SF)	58,057	SF	\$156,593	10
Central Cooling	Chiller - Outdoor Air Cooled (175 Tons)	1	Ea.	\$191,385	10
Air Distribution	Make-up Air Unit	1	Ea.	\$8,888	10
Facility Hydronic Distribution	4-Pipe System	58,057	SF	\$140,479	10
Facility Hydronic Distribution	Pump- 10HP (Ea.)	2	Ea.	\$23,121	10
HVAC Air Distribution	VAV Boxes / Terminal Device	10	Ea.	\$38,739	10
Exhaust Air	Roof Exhaust Fan - Large	4	Ea.	\$32,145	10
Exhaust Air	Kitchen Exhaust Hoods	2	Ea.	\$22,383	10
Sub Total for System		18	items	\$1,359,504	

Electrical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Power Distribution	Power Wiring	58,057	SF	\$68,953	3
Power Distribution	Distribution Panels (600 Amps)	1	Ea.	\$17,802	5

Electrical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Power Distribution	Distribution Panels (800 Amps)	1	Ea.	\$18,564	5
Sub Total for System		3	items	\$105,320	

Plumbing

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Plumbing Fixtures	Refrigerated Drinking Fountain	3	Ea.	\$6,607	3
Domestic Water Piping	Domestic Water Piping System (Bldg.SF)	58,057	SF	\$208,641	4
Sanitary Sewerage Piping	Sanitary Sewer Piping	58,057	SF	\$64,457	4
Plumbing Fixtures	Restroom Lavatory	4	Ea.	\$10,865	4
Plumbing Fixtures	Sink - Service / Mop Sink	5	Ea.	\$3,979	4
Plumbing Fixtures	Toilets	16	Ea.	\$80,950	4
Plumbing Fixtures	Classroom Lavatory	5	Ea.	\$12,822	5
Plumbing Fixtures	Classroom Lavatory	26	Ea.	\$66,677	5
Domestic Water Equipment	Water Heater - Electric - 80 gallon	1	Ea.	\$4,460	10
Domestic Water Equipment	Water Heater - Gas - 100 Gallon	1	Ea.	\$6,384	10
Sub Total for System		10	items	\$465,843	

Fire and Life Safety

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Security System Component	Security Alarm System	58,057	SF	\$133,631	5
Fire Detection and Alarm	Fire Alarm	58,057	SF	\$92,184	9
Sub Total for System		2	items	\$225,815	
Sub Total for Building 158A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.		41	items	\$3,974,219	

Building: 158B - Stand-Alone Classroom Building
Exterior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Exterior Entrance Doors	Steel - Insulated and Painted	2	Door	\$7,414	5
Exterior Entrance Doors	Steel - Insulated and Painted	4	Door	\$14,828	5
Sub Total for System		2	items	\$22,242	

Interior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Interior Door Supplementary Components	Door Hardware	19	Door	\$28,208	4
Interior Swinging Doors	Wooden Door	9	Door	\$16,880	5
Interior Swinging Doors	Wooden Door	10	Door	\$18,756	5
Wall Painting and Coating	Painting/Staining (Bldg SF)	6,511	SF	\$29,175	7
Acoustical Suspended Ceilings	Ceilings - Acoustical Tiles	8,711	SF	\$29,415	10
Sub Total for System		5	items	\$122,434	

Mechanical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Heating System Supplementary Components	Controls - DDC (Bldg.SF)	9,169	SF	\$24,731	10
Exhaust Air	Interior Ceiling Exhaust Fan	4	Ea.	\$1,947	10
Sub Total for System		2	items	\$26,678	

Electrical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Lighting Fixtures	Light Fixtures (Bldg SF)	9,169	SF	\$168,146	10
Sub Total for System		1	items	\$168,146	

Plumbing

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Domestic Water Equipment	Water Heater - Electric - 20 gallon	1	Ea.	\$1,587	5
Sub Total for System		1	items	\$1,587	

Fire and Life Safety

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Fire Detection and Alarm	Fire Alarm	9,169	SF	\$14,559	9
Sub Total for System		1	items	\$14,559	

Specialties

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Casework	Fixed Cabinetry	6	Room	\$52,811	5
	Sub Total for System	1	items	\$52,811	
	Sub Total for Building 158B - Stand-Alone Classroom Building	13	items	\$408,456	
	Total for: Sunset Valley ES	61	items	\$4,949,662	

Supporting Photos

General Site Photos



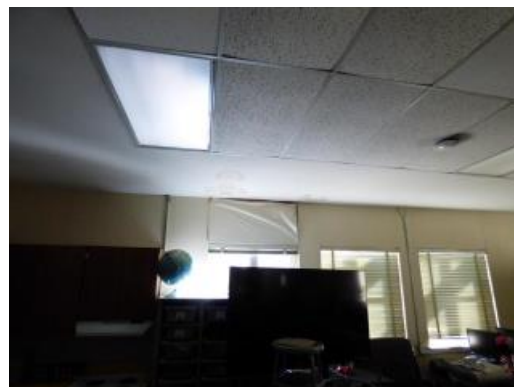
Ductwork is at end of life



625 MBH boiler at end of life



Aged cabinets



Acoustical ceilings are aged and damaged



Aged exterior electrical service