



FACILITY CONDITION ASSESSMENT

Webb MS | February 2022



Executive Summary

Webb MS is located at 601 E St Johns Ave in Austin, Texas. The oldest building is 59 years old (at time of 2020 assessment). It comprises 120,985 gross square feet.

The findings contained within this report are the result of an assessment of building systems and the conditions found on the site at the time of the visit. The assessment was performed by building professionals experienced in disciplines including architecture, mechanical, plumbing and electrical. The total current deficiencies for this site, in 2020 construction cost dollars, are estimated at \$11,404,950. A ten-year need was developed to provide an understanding of the current need as well as the projected needs in the near future. For Webb MS the ten-year need is \$15,874,029.

For master planning purposes, the total current deficiencies and the first five years of projected life cycle needs were combined to calculate a Facility Condition Assessment (FCA) score. A 5-year FCA was calculated by dividing the 5-year need by the total replacement cost. Costs associated with new construction are not included in the FCA calculation. The Webb MS facility has a 5-year FCA score of 66.77%.

Summary of Findings

The table below summarizes the condition findings at Webb MS

Table 1: Facility Condition by Building

Number	Building Name	Current Deficiencies	5-Year Life Cycle Cost	Yrs 6-10 Life Cycle Cost	Total 5 Yr Need (Yr 1-5 + Current Defs)	Total 10 Yr Need (Yr 1-10 + Current Defs)	Replacement Cost	5-Year FCA
Exterior Site								
	Exterior Site	\$1,534,624	\$0	\$1,022,234	\$1,534,624	\$2,556,858	\$0	
Permanent Building(s)								
053A	Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.	\$9,432,274	\$2,166,482	\$729,492	\$11,598,756	\$12,328,248	\$36,166,580	67.93%
053B	Stand-Alone Band Hall	\$438,051	\$416,336	\$134,535	\$854,387	\$988,922	\$5,926,603	85.58%
Sub Total for Permanent Building(s):		\$9,870,325	\$2,582,818	\$864,027	\$12,453,143	\$13,317,170	\$42,093,179	
Total for Site:		\$11,404,950	\$2,582,818	\$1,886,261	\$13,987,768	\$15,874,029	\$42,093,179	66.77%

Approach and Methodology

A facility condition assessment evaluates each building's overall condition. Two components of the facility condition assessment are combined to total the cost for facility need. The two components of the facility condition assessment are current deficiencies and life cycle forecast.

Current Deficiencies: Deficiencies are items in need of repair or replacement as a result of being broken, obsolete, or beyond useful life. The existing deficiencies that currently require correction are identified and assigned a priority. An example of a current deficiency might include a broken lighting fixture or an inoperable roof top air conditioning unit.

Life Cycle Forecast: Life cycle analysis evaluates the ages of a building's systems to forecast system replacement as they reach the end of serviceable life. An example of a life cycle system replacement is a roof with a 20-year life that has been in place for 15 years and may require replacement in five years.

All members of the survey team recorded existing conditions, identified problems and deficiencies, and documented corrective action and quantities. The team took digital photos at each site to better identify significant deficiencies.

Facility Deficiency Priority Levels

Deficiencies were ranked according to five priority levels, with Priority 1 items being the most critical to address:

Priority 1 – Mission Critical Concerns: Deficiencies or conditions that may directly affect the site's ability to remain open or deliver the educational curriculum. These deficiencies typically relate to building safety, code compliance, severely damaged or failing building components, and other items that require near-term correction. An example of a Priority 1 deficiency is a fire alarm system replacement.

Priority 2 - Indirect Impact to Educational Mission: Items that may progress to a Priority 1 item if not addressed in the near term. Examples of Priority 2 deficiencies include inadequate roofing that could cause deterioration of integral building systems, and conditions affecting building envelopes, such as roof and window replacements.

Priority 3 - Short-Term Conditions: Deficiencies that are necessary to the site's mission but may not require immediate attention. These items should be considered necessary improvements required to maximize facility efficiency and usefulness. Examples of Priority 3 items include site improvements and plumbing deficiencies.

Priority 4 - Long-Term Requirements: Items or systems that may be considered improvements to the instructional environment. The improvements may be aesthetic or provide greater functionality. Examples include cabinets, finishes, paving, removal of abandoned equipment, and educational accommodations associated with special programs.

Priority 5 - Enhancements: Deficiencies aesthetic in nature or considered enhancements. Typical deficiencies in this priority include repainting, replacing carpet, improved signage, or other improvements to the facility environment.

The following table summarizes this site's current deficiencies by building system and priority.

Table 2: System by Priority (Site & Permanent Buildings)

System	Priority					Total	% of Total
	1	2	3	4	5		
Site	\$0	\$0	\$31,073	\$431	\$1,490,211	\$1,521,715	13.35 %
Roofing	\$0	\$0	\$0	\$0	\$0	\$0	0.00 %
Structural	\$12,910	\$0	\$0	\$0	\$0	\$12,910	0.11 %
Exterior	\$0	\$0	\$0	\$0	\$0	\$0	0.00 %
Interior	\$0	\$0	\$218,084	\$1,141,382	\$22,936	\$1,382,401	12.13 %
Mechanical	\$0	\$2,845,546	\$255,198	\$192,404	\$2,479	\$3,295,626	28.91 %
Electrical	\$0	\$245,994	\$2,191,976	\$0	\$0	\$2,437,970	21.39 %
Plumbing	\$0	\$1,587	\$414,830	\$300,975	\$0	\$717,391	6.29 %
Fire and Life Safety	\$205,838	\$0	\$0	\$0	\$0	\$205,838	1.81 %
Conveyances	\$0	\$0	\$0	\$0	\$0	\$0	0.00 %
Specialties	\$0	\$0	\$0	\$304,823	\$0	\$304,823	2.67 %
Crawlspace	\$0	\$0	\$0	\$0	\$1,518,970	\$1,518,970	13.33 %
Total:	\$218,748	\$3,093,127	\$3,111,160	\$1,940,015	\$3,034,595	\$11,397,643	

The building systems at the site with the most need include:

Mechanical	-	\$3,295,626
Electrical	-	\$2,437,970
Site	-	\$1,521,715

The chart below represents the building systems and associated deficiency costs.

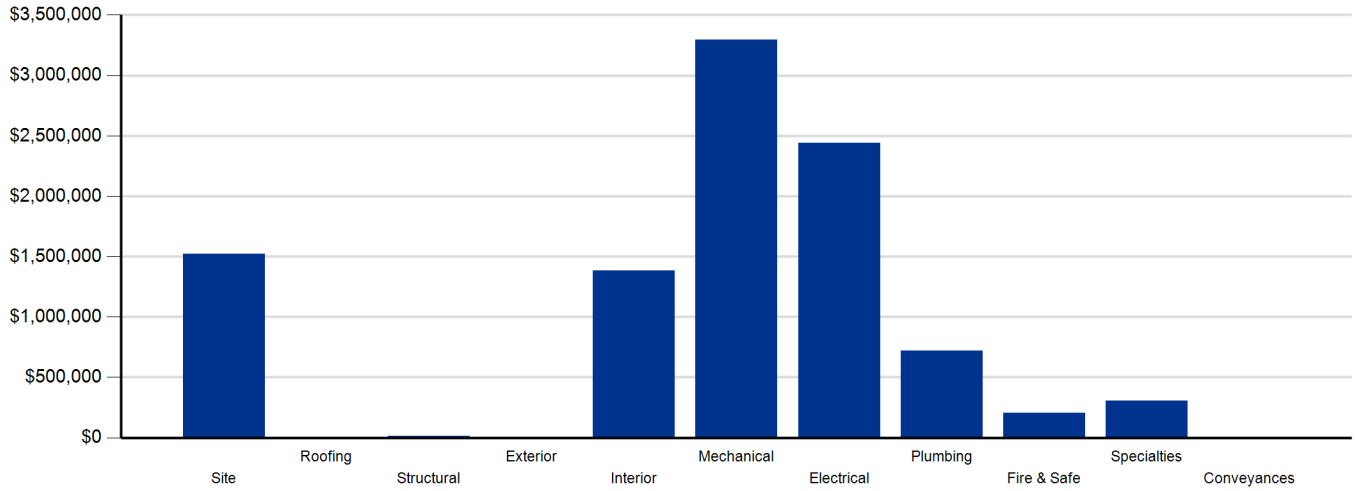


Figure 1: System Deficiencies

Life Cycle Capital Renewal Forecast

During the facility condition assessment, assessors inspected all major building systems. If an assessor identified a need for immediate replacement, a deficiency was created with the item's repair costs. The identified deficiency contributes to the facility's total current repair costs.

However, capital planning scenarios span multiple years, as opposed to being constrained to immediate repairs. Construction projects may begin several years after the initial facility condition assessment. Therefore, in addition to the current year repair costs, it is necessary to forecast the facility's future costs using a ten-year life cycle renewal forecast model.

Life cycle renewal is the projection of future building system costs based upon each individual system's expected serviceable life. Building systems and components age over time, eventually break down, reach the end of their useful lives, and may require replacement. While an item may be in good condition now, it might reach the end of its life before a planned construction project occurs.

The following tables show current deficiencies and the subsequent ten-year life cycle capital renewal projections. The projections outline costs for major building systems in which a component is expected to reach the end of its useful life and require capital funding for replacement.

Table 3a: Capital Renewal Forecast (Yrs 1-5)

System	Life Cycle Capital Renewal Projections					Total 1-5
	Year 1 2023	Year 2 2024	Year 3 2025	Year 4 2026	Year 5 2027	
Site	\$0	\$0	\$0	\$0	\$0	\$0
Roofing	\$0	\$0	\$0	\$0	\$0	\$0
Exterior	\$0	\$0	\$70,433	\$180,737	\$87,318	\$338,488
Interior	\$0	\$229,662	\$0	\$213,783	\$527,003	\$970,448
Mechanical	\$0	\$0	\$0	\$88,540	\$0	\$88,540
Electrical	\$0	\$0	\$0	\$50,966	\$357,045	\$408,011
Plumbing	\$0	\$0	\$0	\$31,982	\$4,336,952	\$4,368,934
Fire and Life Safety	\$0	\$0	\$0	\$24,978	\$0	\$24,978
Conveyances	\$0	\$0	\$0	\$0	\$15,969	\$15,969
Specialties	\$0	\$0	\$0	\$582,593	\$247,865	\$830,458
Crawlspace	\$0	\$0	\$0	\$0	\$0	\$0
Total	\$0	\$229,662	\$70,433	\$1,173,579	\$5,572,152	\$7,045,826

Table 3b: Capital Renewal Forecast (Yrs 6-10)

System	Life Cycle Capital Renewal Projections						Total 6-10	Total 1-10
	Total 1-5	Year 6 2028	Year 7 2029	Year 8 2030	Year 9 2031	Year 10 2032		
Site	\$0	\$0	\$0	\$632,440	\$0	\$372,335	\$1,004,775	\$1,004,775
Roofing	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Exterior	\$338,488	\$0	\$0	\$0	\$0	\$14,828	\$14,828	\$353,316
Interior	\$970,448	\$43,354	\$0	\$76,353	\$242,433	\$583,315	\$945,455	\$1,915,903
Mechanical	\$88,540	\$0	\$0	\$0	\$0	\$1,087,363	\$1,087,363	\$1,175,903
Electrical	\$408,011	\$0	\$0	\$148,679	\$0	\$0	\$148,679	\$556,690
Plumbing	\$4,368,934	\$0	\$0	\$0	\$0	\$14,355	\$14,355	\$4,383,289
Fire and Life Safety	\$24,978	\$0	\$0	\$0	\$0	\$0	\$0	\$24,978
Conveyances	\$15,969	\$0	\$0	\$0	\$0	\$0	\$0	\$15,969
Specialties	\$830,458	\$0	\$0	\$0	\$0	\$0	\$0	\$830,458
Crawlspace	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total	\$7,045,826	\$43,354	\$0	\$857,472	\$242,433	\$2,072,196	\$3,215,455	\$10,261,281

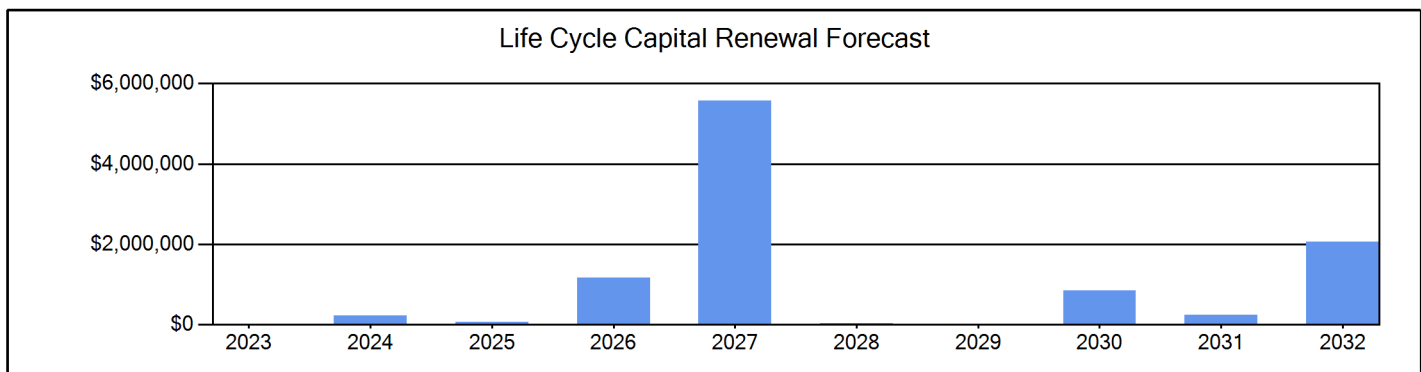


Figure 2: Ten Year Capital Renewal Forecast

Facility Condition Assessment Score

The Facility Condition Assessment Score (FCAS) is used throughout the facility condition assessment industry as a general indicator of a building’s health. The FCAS is used to benchmark the relative condition of a group of sites. The FCAS is derived by dividing the total repair cost, site-related repairs, by the total replacement cost and subtracting it from 100. A facility with a lower FCAS percentage has more need, or higher priority, than a facility with a lower FCAS. It should be noted that costs in the New Construction category are not included in the FCAS calculation.

$$FCAS = 100 - (\text{Total Repair Cost} / \text{Replacement Cost})$$

For master planning purposes, the total current deficiencies and the first five years of projected life cycle needs were combined. This provides an understanding of the current needs of a facility as well as the projected needs in the near future. A 5-year FCAS was calculated by dividing the 5-year need by the total replacement cost. Costs associated with new construction are not included in the FCAS calculation.

- Very Unsatisfactory (0-35)
- Unsatisfactory (36-50)
- Average (51-65)
- Satisfactory (66-80)
- Very Satisfactory (81-100)

Financial modeling has shown that over a 30-year period, it is more cost effective to replace than repair sites with a FCAS of 35 percent or greater. This is due to efficiency gains with facilities that are more modern and the value of the building at the end of the analysis period. It is important to note that the FCAS at which a facility should be considered for replacement is typically debated and adjusted based on property owners and facility managers approach to facility management. Of course, FCAS is not the only factor used to identify buildings that need renovation, replacement, or even closure. Historical significance, enrollment trends, community sentiment, and the availability of capital are additional factors that are analyzed when making campus facility decisions.

The replacement value represents the estimated cost of replacing the current building with another building of like size, based on today’s estimated cost of construction in the Austin area. The estimated replacement cost for this facility is \$42,093,179. For planning purposes, the total 5-year need at the Webb MS is \$13,987,768 (Life Cycle Years 1-5 plus the FCA deficiency cost). The Webb MS facility has a 5-year FCA of 66.77%.

5-Year Need vs. Replacement

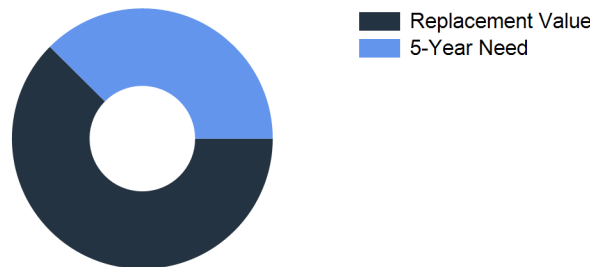


Figure 3: 5-Year FCA

Webb MS - Deficiency Summary

Site Level Deficiencies

Site

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Asphalt Driveway Replacement	Capital Renewal	4,700	SF	3	\$30,223	3838
Note: Weathered with several potholes and cracks, causing ponding. Driveway should be repaved for adequate drainage and driveability. Location: Driveway next to Roland Johnson Dr. on east side of school						
Concrete Walks Replacement	Capital Renewal	75	SF	3	\$850	3841
Note: Small section of the sidewalk at the southeast corner of the northwest school parking lot, as well as a section of the sidewalk leading up to the main school entrance are cracked and subsided. These sections should be replaced Location: North side of school, next to entrance						
Site Drainage Regrading	Deferred Maintenance	300	SF	4	\$431	3840
Note: Private driveway entrances to the loading docks on the east side of the school building from the drive aisle adjacent to Roland Johnson Dr. serve as low point without any inlets for drainage, causing ponding. These areas should be regraded and raised to allow surface flow to drain east and north with the rest of the drive aisle and parking areas. In addition, the areas between the sidewalk/steps leading up to the main school entrance on the north side and the drainage channel running parallel to it has eroded, exposing tree roots and creating low points. This area should be filled and landscaped to allow proper drainage. Location: Driveway to east loading docks						
Paving Restriping	Deferred Maintenance	14	CAR	5	\$466	3839
Note: Portions of fire lane striping missing Location: Northwest driveway to gate and basketball courts						
PROGRAM DEFICIENCIES	ADA Compliance	461,918	EACH	5	\$793,104	5141
Note: SECTION TWO: PROGRAM DEFICIENCIES Interior Improvements Estimated Construction Cost for Floor Plan Area 6 (A,B)(x2) \$ 132,906.42 Estimated Construction Cost for Floor Plan Area 7 (A,B)(x2) \$ 16,319.88 Estimated Construction Cost for Floor Plan Area 8 (A-D)(x4) \$ 31,432.54 Estimated Construction Cost for Floor Plan Area 9 \$ 91,907.19 Estimated Construction Cost for Floor Plan Area 10 \$ 71,903.42 Estimated Construction Cost for Floor Plan Area 11 \$ 18,214.55 053.1.2 REPORT COST SUMMARY Estimated Construction Cost for Floor Plan Area 18,214.55 Estimated Construction Cost for Floor Plan Area 12 \$ 14,081.67 Estimated Construction Cost for Floor Plan Area 13 (A-E)(x5) \$ 69,807.54 Estimated Construction Cost for Floor Plan Area 14 \$ 15,345.53 Estimated Construction Cost Subtotal for Interior Improvements Excluding Division 1 \$ 461,918.74 Total Estimated Construction Cost Subtotal for Program Deficiency Improvements \$ 461,918.74						
PUBLIC DEFICIENCIES	ADA Compliance	324,096	EACH	5	\$556,467	5139
Note: SECTION ONE: PUBLIC DEFICIENCIES Site/Exterior Improvements Estimated Construction Cost for Site Plan Area A \$ 19,051.32 Estimated Construction Cost for Site Plan Area B \$ 14,659.57 Estimated Construction Cost for Site Plan Area C \$ 48,769.99 Estimated Construction Cost Subtotal for Site/Exterior Improvements Excluding Division 1 \$ 82,480.88 Interior Improvements Estimated Construction Cost for Floor Plan Area 1 \$ 14,168.30 Estimated Construction Cost for Floor Plan Area 2 \$ 27,531.41 Estimated Construction Cost for Floor Plan Area 3 \$ 9,235.36 Estimated Construction Cost for Floor Plan Area 4 \$ 99,227.85 Estimated Construction Cost for Floor Plan Area 5 \$ 91,452.25 Estimated Construction Cost Subtotal for Interior Improvements Excluding Division 1 \$ 241,615.17 Total Estimated Construction Cost Subtotal for Public Deficiency Improvements \$ 324,096.05						
TAS ACCESSIBILITY DEFICIENCIES	ADA Compliance	81,640	EACH	5	\$140,174	5142
Note: SECTION THREE: TAS ACCESSIBILITY DEFICIENCIES Interior Improvements Estimated Construction Cost for Floor Plan Area 15 \$ 22,034.07 Estimated Construction Cost for Floor Plan Area 16 \$ 15,885.24 Estimated Construction Cost for Floor Plan Area 17 (A,B)(x2) \$ 24,273.03 Estimated Construction Cost for Floor Plan Area 18 \$ 19,447.30 Estimated Construction Cost Subtotal for TAS Improvements Excluding Division 1 \$ 81,639.64 Total Estimated Construction Cost Subtotal for TAS Deficiency Improvements \$ 81,639.64						
Sub Total for System		7	items		\$1,521,715	

Structural

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Structural Study Recommended	Deferred Maintenance	2	Job	1	\$12,910	6853

Note: Structural study to detail scope of work based on the 2017 crawlspace deficiencies provided by AISD

Sub Total for System	1 items	\$12,910
Sub Total for School and Site Level	8 items	\$1,534,624

Building: 053A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.
Interior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Interior Door Replacement	Capital Renewal	105	Door	3	\$196,938	3234
Interior Overhead Door Replacement	Capital Renewal	4	Ea.	3	\$21,146	3235
Acoustical Ceiling Tile Replacement	Capital Renewal	60,573	SF	4	\$204,540	3227
Ceramic Tile Flooring Replacement	Capital Renewal	16,520	SF	4	\$291,864	3230
Epoxy Flooring Repair Or Replacement	Deferred Maintenance	8,811	SF	4	\$106,202	3231

Location: Boy's and girl's locker rooms

Stone/Quarry Flooring Replacement	Capital Renewal	2,203	SF	4	\$60,223	3232
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Location: Kitchen

Toilet Partition Replacement	Capital Renewal	14	Stall	4	\$28,231	3229
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Note: Damaged/end of life

Vinyl Composition Tile Replacement	Capital Renewal	55,067	SF	4	\$450,322	3233
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Location: Corridors, classrooms, cafeteria

Interior Ceiling Repainting	Deferred Maintenance	11,013	SF	5	\$22,936	3228
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Note: Flaking and chipping

Sub Total for System	9 items	\$1,382,401
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Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Air Cooled Condenser Replacement	Capital Renewal	2	Ea.	2	\$12,845	3369
Air Cooled Condenser Replacement	Capital Renewal	2	Ea.	2	\$12,845	3372
Air Cooled Condenser Replacement	Capital Renewal	1	Ea.	2	\$11,586	3373
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$172,795	3383
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$145,040	3384
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$113,856	3385
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$113,856	3425
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$113,856	3427
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$85,959	3431
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$43,163	3435
Chiller HVAC Component Replacement	Capital Renewal	2	Ea.	2	\$290,906	3367
Copper Tube Boiler Replacement	Capital Renewal	1	Ea.	2	\$71,293	3359
Copper Tube Boiler Replacement	Capital Renewal	1	Ea.	2	\$149,171	3363
Copper Tube Boiler Replacement	Capital Renewal	1	Ea.	2	\$97,435	3364
Copper Tube Boiler Replacement	Capital Renewal	1	Ea.	2	\$55,544	3365
Ductless Split System AC Replacement	Capital Renewal	2	Ea.	2	\$9,494	3370
Exterior Metal Cooling Tower Replacement	Capital Renewal	1	Ea.	2	\$57,829	3368
Fan Coil (Chilled Water) HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$7,785	3374
Fan Coil Unit Replacement	Capital Renewal	2	Ea.	2	\$3,940	3371
HVAC VAV Box Replacement	Capital Renewal	100	Ea.	2	\$387,385	3387
Mechanical / HVAC Piping / System Is Beyond Its Useful Life	Capital Renewal	110,133	SF	2	\$266,486	3379
Package DX Unit Replacement	Capital Renewal	1	Ea.	2	\$26,366	3375
Package Roof Top Unit Replacement	Capital Renewal	2	Ea.	2	\$48,472	3386
Package Roof Top Unit Replacement	Capital Renewal	1	Ea.	2	\$24,236	3389
Package Roof Top Unit Replacement	Capital Renewal	2	Ea.	2	\$63,447	3390
Package Roof Top Unit Replacement	Capital Renewal	2	Ea.	2	\$48,472	3391
Package Roof Top Unit Replacement	Capital Renewal	1	Ea.	2	\$15,909	3392

Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Circulation Pump Replacement	Capital Renewal	2	Ea.	3	\$23,121	3381
Circulation Pump Replacement	Capital Renewal	4	Ea.	3	\$57,525	3382
Circulation Pump Replacement	Capital Renewal	2	Ea.	3	\$28,763	3388
Kitchen Exhaust Hood Replacement	Capital Renewal	1	Ea.	3	\$11,191	3397
Large Diameter Exhausts/Hoods Replacement	Capital Renewal	6	Ea.	3	\$48,217	3395
Replace Variable Frequency Drive	Capital Renewal	2	Ea.	3	\$27,872	3376
Replace Variable Frequency Drive	Capital Renewal	2	Ea.	3	\$17,635	3377
Replace Variable Frequency Drive	Capital Renewal	1	Ea.	3	\$7,559	3378
Small Diameter Exhausts/Hoods Replacement	Capital Renewal	17	Ea.	3	\$33,315	3394
Circulation Pump Replacement	Capital Renewal	1	Ea.	4	\$4,313	3380
Ductwork Repair	Deferred Maintenance	154	LF	4	\$885	3393

Note: Supply air duct not connected to diffuser

Location: Admin office

Existing Controls Are Obsolete	Capital Renewal	110,133	SF	4	\$170,414	3366
Remove Abandoned Equipment	Deferred Maintenance	2	Ea.	5	\$2,479	3398

Note: Not used

Location: West building, level 2. Boy's and girl's restroom

Sub Total for System 40 items \$2,883,260

Electrical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Electrical Transformer Replacement	Capital Renewal	1	Ea.	2	\$9,908	2851
Electrical Transformer Replacement	Capital Renewal	3	Ea.	2	\$16,072	2852
Electrical Transformer Replacement	Capital Renewal	7	Ea.	2	\$38,632	2853
Electrical Transformer Replacement	Capital Renewal	7	Ea.	2	\$51,012	2854
Electrical Transformer Replacement	Capital Renewal	1	Ea.	2	\$5,919	2855
Panelboard Replacement	Capital Renewal	6	Ea.	2	\$16,692	2858
Panelboard Replacement	Capital Renewal	13	Ea.	2	\$71,494	2859
Panelboard Replacement	Capital Renewal	1	Ea.	2	\$1,459	2861
Panelboard Replacement	Capital Renewal	1	Ea.	2	\$6,688	2862
Panelboard Replacement	Capital Renewal	3	Ea.	2	\$28,117	2863
Canopy Lighting Replacement	Capital Renewal	4	Ea.	3	\$8,332	2870
Lighting Fixtures Replacement	Capital Renewal	110,133	SF	3	\$2,019,679	2873
Lightning Protection System Installation	Functional Deficiency	110,133	SF	3	\$86,005	2869
Public Address System Replacement, Non-main Building	Deferred Maintenance	110,133	SF	3	\$77,961	2865

Sub Total for System 14 items \$2,437,970

Plumbing

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Backflow Preventer Replacement	Capital Renewal	1	Ea.	3	\$7,685	3348
Gas Water Heater Replacement	Capital Renewal	2	Ea.	3	\$12,768	3347
Shower Replacement	Capital Renewal	7	Ea.	3	\$9,145	3356
Shower Replacement	Capital Renewal	9	Ea.	3	\$11,758	3362
Toilet Replacement	Capital Renewal	69	Ea.	3	\$349,098	3357
Urinal Replacement	Capital Renewal	18	Ea.	3	\$24,376	3358
Custodial Mop Or Service Sink Replacement	Capital Renewal	11	Ea.	4	\$8,755	3355
Refrigerated Water Cooler Replacement	Capital Renewal	8	Ea.	4	\$17,619	3644
Replace classroom lavatory	Capital Renewal	47	Ea.	4	\$120,531	3353
Replace classroom lavatory	Capital Renewal	3	Ea.	4	\$7,693	3360
Replace classroom lavatory	Capital Renewal	2	Ea.	4	\$5,129	3361
Restroom Lavatories Plumbing Fixtures Replacement	Capital Renewal	52	Ea.	4	\$141,247	3354

Sub Total for System 12 items \$715,804

Fire and Life Safety

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Fire Alarm Panel Replacement	Capital Renewal	1	Ea.	1	\$6,868	2868

Fire and Life Safety

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Fire Alarm Replacement	Capital Renewal	110,133	SF	1	\$174,871	2867
Sub Total for System		2	items		\$181,739	

Technology

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Public Address System Head-End Requires Replacement	Functional Deficiency	1	Ea.	3	\$7,307	2866
Sub Total for System		1	items		\$7,307	

Specialties

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Metal Student Lockers Replacement	Capital Renewal	440	Ea.	4	\$234,408	3346
Replace Cabinetry In Classes/Labs	Capital Renewal	8	Room	4	\$70,415	3345
Sub Total for System		2	items		\$304,823	

Crawlspace

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	230,619	Ea.	5	\$270,943	6854
Note: SOIL/DRAINAGE BELOW BUILDING - improve drainage - 82842 SF						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	126,841	Ea.	5	\$149,019	6855
Note: CRAWL SPACE ACCESS/VENTILATION - improve ventilation - 82842 SF						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	48,717	Ea.	5	\$57,235	6856
Note: CRAWL SPACE ACCESS/VENTILATION - repair access - 7 EA						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	691,858	Ea.	5	\$812,830	6857
Note: SUSPENDED FLOOR SLABS - repair cracks, spalling & reinforcement - 82842 SF						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	125,273	Ea.	5	\$147,177	6858
Note: CRAWL SPACE, EXPOSED PIPES - Repair rusted pipes and supports and degraded insulaiton - 1 LS						
CRAWL SPACE DEFICIENCIES - Estimate and Info by AISD	Deferred Maintenance	69,596	Ea.	5	\$81,765	6859
Note: CRAWL SPACE, EXPOSED DUCTWORK - replace corroded duct - 1 LS						
Sub Total for System		6	items		\$1,518,970	
Sub Total for Building 053A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.		86	items		\$9,432,274	

Building: 053B - Stand-Alone Band Hall
Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$113,856	3406
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$113,856	3407
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$85,959	3408
Air Handler HVAC Component Replacement	Capital Renewal	1	Ea.	2	\$43,163	3409
HVAC VAV Box Replacement	Capital Renewal	10	Ea.	2	\$38,739	3404
Existing Controls Are Obsolete	Capital Renewal	10,852	SF	4	\$16,792	3420
Sub Total for System		6	items		\$412,365	

Plumbing

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Water Heater Replacement	Capital Renewal	1	Ea.	2	\$1,587	3399
Sub Total for System		1	items		\$1,587	

Fire and Life Safety

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Fire Alarm Panel Replacement	Capital Renewal	1	Ea.	1	\$6,868	2876
Fire Alarm Replacement	Capital Renewal	10,852	SF	1	\$17,231	2875
Sub Total for System		2	items		\$24,099	
Sub Total for Building 053B - Stand-Alone Band Hall		9	items		\$438,051	
Total for Campus		103	items		\$11,404,950	

Webb MS - Life Cycle Summary Yrs 1-10

Site Level Life Cycle Items

Site

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Fences and Gates	Fencing - Chain Link (8-10 Ft)	340	LF	\$26,637	8
Fences and Gates	Fencing - Wood	90	LF	\$2,719	8
Fences and Gates	Competition Style Track	1	Ea.	\$294,838	8
Parking Lot Pavement	Concrete	125	CAR	\$308,246	8
Parking Lot Pavement	Asphalt	46	CAR	\$66,737	10
Roadway Pavement	Asphalt Driveways	45,000	SF	\$289,369	10
Roadway Pavement	Concrete Driveways	1,300	SF	\$16,229	10
Sub Total for System		7	items	\$1,004,775	

Electrical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Parking Lot Lighting	Pole Lighting	3	Ea.	\$17,459	8
Sub Total for System		1	items	\$17,459	
Sub Total for Building -		8	items	\$1,022,234	

Building: 053A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.

Exterior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Exterior Entrance Doors	Steel - Insulated and Painted	19	Door	\$70,433	3
Exterior Window Wall	Storefront / Curtain Wall (Bldg SF)	5,507	SF	\$133,167	4
Exterior Operating Windows	Aluminum - Windows per SF	477	SF	\$47,570	4
Exterior Entrance Doors	Storefront Doors - Glass/Aluminum	22	Door	\$87,318	5
Sub Total for System		4	items	\$338,487	

Interior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Wall Painting and Coating	Painting/Staining (Bldg SF)	44,053	SF	\$197,398	2
Compartments and Cubicles	Toilet Partitions	16	Stall	\$32,264	2
Interior Door Supplementary Components	Door Hardware	144	Door	\$213,783	4
Acoustical Suspended Ceilings	Ceilings - Adhered acoustical tiles	38,547	SF	\$268,584	5
Wall Coverings	Vinyl/Fabric Wall Covering	22,027	SF	\$103,792	5
Interior Swinging Doors	Metal Door (Steel)	39	Door	\$112,859	5
Wall Painting and Coating	Painting/Staining (Bldg SF)	44,053	SF	\$197,398	9
Resilient Flooring	Vinyl Composition Tile Flooring	5,507	SF	\$45,035	9
Acoustical Suspended Ceilings	Ceilings - Acoustical Tiles	60,573	SF	\$204,540	10
Suspended Plaster and	Painted ceilings	11,013	SF	\$22,936	10
Wood Flooring	Wood Flooring - All Types	16,520	SF	\$355,839	10
Sub Total for System		11	items	\$1,754,428	

Mechanical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Heat Generation	Boiler - Copper Tube (1600 MBH)	1	Ea.	\$71,293	10
Heat Generation	Boiler - Copper Tube (3200 MBH)	1	Ea.	\$149,171	10
Heat Generation	Boiler - Copper Tube (2400 MBH)	1	Ea.	\$97,435	10
Heat Generation	Boiler - Copper Tube (1200 MBH)	1	Ea.	\$55,544	10
Heating System Supplementary Components	Controls - Electronic (Bldg.SF)	110,133	SF	\$170,414	10
Central Cooling	Chiller - Indoor Water Cooled (150 Ton)	2	Ea.	\$290,906	10
Central Cooling	Cooling Tower - Metal (300 Tons)	1	Ea.	\$57,829	10
Other HVAC Distribution Systems	VFD (40 HP)	2	Ea.	\$27,872	10
Other HVAC Distribution Systems	VFD (20 HP)	2	Ea.	\$17,635	10
Other HVAC Distribution Systems	VFD (15 HP)	1	Ea.	\$7,559	10
Facility Hydronic Distribution	Pump - 1HP or Less (Ea.)	1	Ea.	\$4,313	10
Facility Hydronic Distribution	Pump- 10HP (Ea.)	2	Ea.	\$23,121	10
Facility Hydronic Distribution	Pump- 25HP (Ea.)	4	Ea.	\$57,525	10
Facility Hydronic Distribution	Pump- 25HP (Ea.)	2	Ea.	\$28,763	10

Mechanical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Exhaust Air	Kitchen Exhaust Hoods	1	Ea.	\$11,191	10
Sub Total for System		15	items	\$1,070,570	

Electrical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Lighting Fixtures	Building Mounted Fixtures (Ea.)	40	Ea.	\$36,070	4
Power Distribution	Panelboard - 120/208 100A	3	Ea.	\$8,346	5
Power Distribution	Panelboard - 120/240 100A	2	Ea.	\$8,471	5
Power Distribution	Power Wiring	110,133	SF	\$130,803	5
Electrical Service	Switchgear - Main Dist Panel (1600 Amps)	1	Ea.	\$55,918	8
Power Distribution	Panelboard - 277/480 400A	2	Ea.	\$27,782	8
Electrical Service	Exterior Liquid Filled Transformer (750 KVA)	1	Ea.	\$47,520	8
Sub Total for System		7	items	\$314,910	

Plumbing

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Domestic Water Equipment	Gas Piping System (BldgSF)	110,133	SF	\$3,818,891	5
Domestic Water Piping	Domestic Water Piping System (Bldg.SF)	110,133	SF	\$395,788	5
Sanitary Sewerage Piping	Sanitary Sewer Piping	110,133	SF	\$122,273	5
Domestic Water Equipment	Water Heater - Gas - 100 Gallon	2	Ea.	\$12,768	10
Sub Total for System		4	items	\$4,349,719	

Conveyances

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Elevators	Passenger elevator cab finishes	2	Ea.	\$15,969	5
Sub Total for System		1	items	\$15,969	

Specialties

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Casework	Lockers, Gym	1,200	Ea.	\$582,593	4
Fixed Multiple Seating	Bleachers	600	Seat	\$247,865	5
Sub Total for System		2	items	\$830,458	
Sub Total for Building 053A - Main building includes Administration Offices, Classrooms, Cafeteria, & Gym.		44	items	\$8,674,542	

Building: 053B - Stand-Alone Band Hall
Exterior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Exterior Entrance Doors	Steel - Insulated and Painted	4	Door	\$14,828	10
Sub Total for System		1	items	\$14,828	

Interior

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Acoustical Suspended Ceilings	Ceilings - Acoustical Tiles	7,054	SF	\$23,820	5
Suspended Plaster and	Painted ceilings	543	SF	\$1,131	5
Wall Painting and Coating	Painting/Staining (Bldg SF)	1,953	SF	\$8,751	5
Compartments and Cubicles	Toilet Partitions	4	Stall	\$8,066	5
Tile Flooring	Ceramic Tile	543	SF	\$9,593	6
Interior Swinging Doors	Wooden Door	18	Door	\$33,761	6
Wall Coverings	Vinyl/Fabric Wall Covering	2,170	SF	\$10,225	8
Interior Swinging Doors	Metal Door (Steel)	9	Door	\$26,044	8
Interior Door Supplementary Components	Door Hardware	27	Door	\$40,084	8
Sub Total for System		9	items	\$161,476	

Mechanical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Decentralized Cooling	Condenser - Outside Air Cooled (3 Tons)	1	Ea.	\$6,423	4
HVAC Air Distribution	Roof Top Unit - DX Gas (40 Ton)	1	Ea.	\$82,117	4
Heating System Supplementary Components	Controls - Electronic (Bldg.SF)	10,852	SF	\$16,792	10
Sub Total for System		3	items	\$105,331	

Electrical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Lighting Fixtures	Building Mounted Fixtures (Ea.)	8	Ea.	\$7,214	4

Electrical

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Audio-Video Systems	PA Communications No Head Unit (Bldg SF)	10,852	SF	\$7,682	4
Lighting Fixtures	Canopy Mounted Fixtures (Ea.)	5	Ea.	\$10,415	5
Lighting Fixtures	Light Fixtures (Bldg SF)	10,852	SF	\$199,010	5
Sub Total for System		4	items	\$224,320	

Plumbing

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Plumbing Fixtures	Restroom Lavatory	7	Ea.	\$19,014	4
Plumbing Fixtures	Sink - Service / Mop Sink	1	Ea.	\$796	4
Plumbing Fixtures	Toilets	1	Ea.	\$5,059	4
Plumbing Fixtures	Urinals	2	Ea.	\$2,708	4
Plumbing Fixtures	Refrigerated Drinking Fountain	2	Ea.	\$4,405	4
Domestic Water Equipment	Water Heater - Electric - 20 gallon	1	Ea.	\$1,587	10
Sub Total for System		6	items	\$33,569	

Fire and Life Safety

Uniformat Description	LC Type Description	Qty	UoM	Repair Cost	Remaining Life
Security System Component	Security Alarm System	10,852	SF	\$24,978	4
Sub Total for System		1	items	\$24,978	
Sub Total for Building 053B - Stand-Alone Band Hall		24	items	\$564,503	
Total for: Webb MS		76	items	\$10,261,278	

Supporting Photos

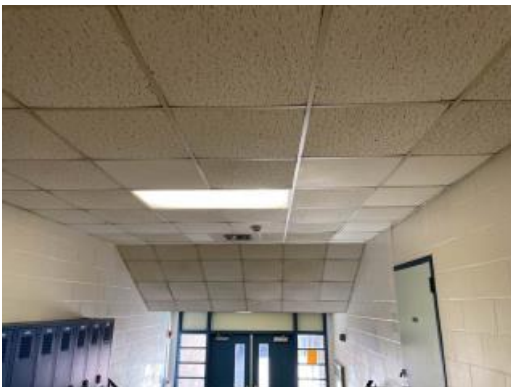
General Site Photos



Stained main office admin mechanical closet ceiling



Cracked elevator floor



Sagging acoustic ceiling tiles



Missing classroom tiles



Cafeteria overhead doors at end of life



Outdated distribution Panels



Exposed electrical panel



Electrical panel at end of life



Cracked Sidewalks